

1. Agenda

Documents:

[AGENDA.PDF](#)

2. Meeting Materials

Documents:

[297 ZONE RESERVOIR.PDF](#)

[PIONEER HIGHWAY AND 72ND AVENUE INTERCEPTOR SEWER LINE.PDF](#)

[TITLE 11 CHAPTER 11.48 VACATION OF STREETS AND ALLEY AND TITLE 17 -
CODE AMENDMENT.PDF](#)



PLANNING COMMISSION AGENDA

April 22, 2019 – 6:30 PM

Stanwood Fire Station (8117 267th Pl NW)

1. Call to Order
2. Roll Call
3. Public Requests and Comments
4. Minutes of April 8, 2019
5. New Business

Public Meeting:

- Pioneer Highway & 72nd Avenue Interceptor Sewer Line
- 297 Zone Reservoir

Public Hearing:

- Title 11, Chapter 11.48 Vacation of Streets & Alley, and Title 17 - Code Amendment

6. Old Business
7. Miscellaneous Business
8. Public Comments
9. Recent Council Action on Commission Items
10. Upcoming Items
11. Adjourn

For information about this agenda, contact the Community Development Department at 360-629-2181 ext. 5211.

SPECIAL ACCOMMODATIONS: The City of Stanwood strives to provide accessible meetings for people with disabilities. Please contact the Planning Commission Clerk at 360-629-2181 ext. 5211 two business days prior to the meeting.



MEMORANDUM

City of Stanwood
10220 270th St NW
Stanwood, WA 98292
360-629-2181

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNING COMMISSION

FROM: Amy Rusko, Senior Planner

SUBJECT: Public Meeting – 297 Zone Reservoir

DATE: April 22, 2019

ATTACHMENT: A. Vicinity Map
B. Site Plan

Request:

The City of Stanwood Public Works Department is requesting major site development approval for the installation of a new water reservoir. The project will remove an existing 200,000 gallon concrete reservoir and construct a new 1.5 million gallon reservoir in its place. The new reservoir will be steel to match the other reservoir on the same site. The purpose of the project is to upgrade the current water storage capacity for the city's customers. An emergency generator will be installed for power back-up. The project will take place on the existing city reservoir site located at 7620 278th Place NW.

Procedural Information:

The project as proposed is considered a Major Site Development and will be processed as a Type II permit application. The process requires public notice in the newspaper, posting the site, and mailing to property owners within 300-feet. Proper notification has occurred. The Community Development Director will render a decision on this project once all code requirements have been met.

Stanwood Municipal Code 17.80.033 states the community development department shall apprise the planning commission of the general intent of a project of this type and collect comments from the commission members. These comments will be considered by the Community Development Director prior to issuing a decision.

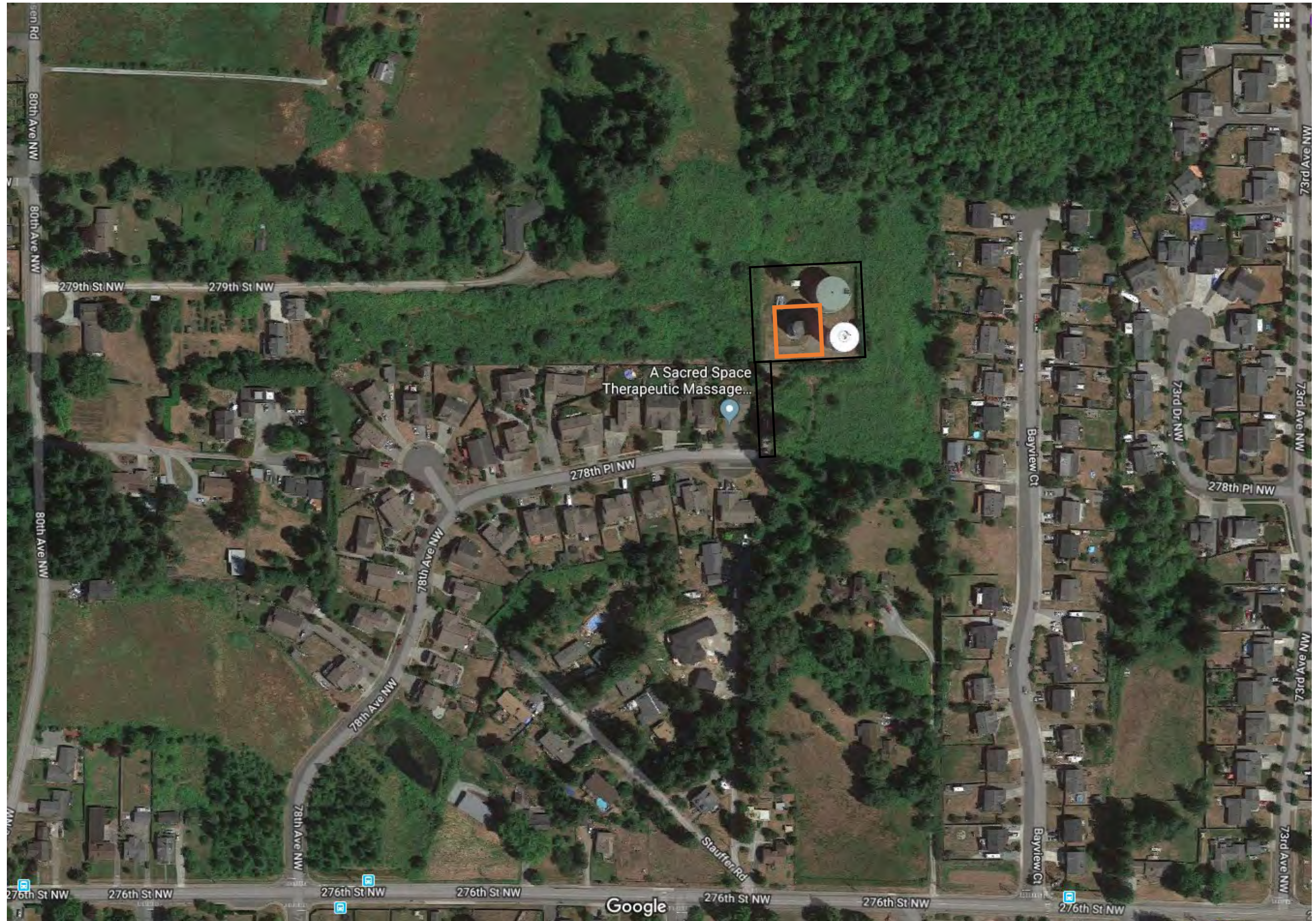
Project Details:

The property is designated as Single Family Residential 9.6 (SR 9.6) on the Zoning Map and Low Density Residential (LDR) on the Future Land Use Map. The neighboring properties have the same designations. The project is located on approximately .94 acres and the current site of the city's water reservoirs and elevated tank. Approximately 10,000 square feet or $\frac{1}{4}$ of the site will be disturbed for this project.

The application was submitted on February 25, 2019 and deemed to be complete. The Notice of Application, SEPA DNS Notice and Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on March 12, 2019. The Notice of Application comment period ends on March 27, 2019. An additional Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on April 16, 2019.

Public Comments:

To date the project has received no public or agency comments.

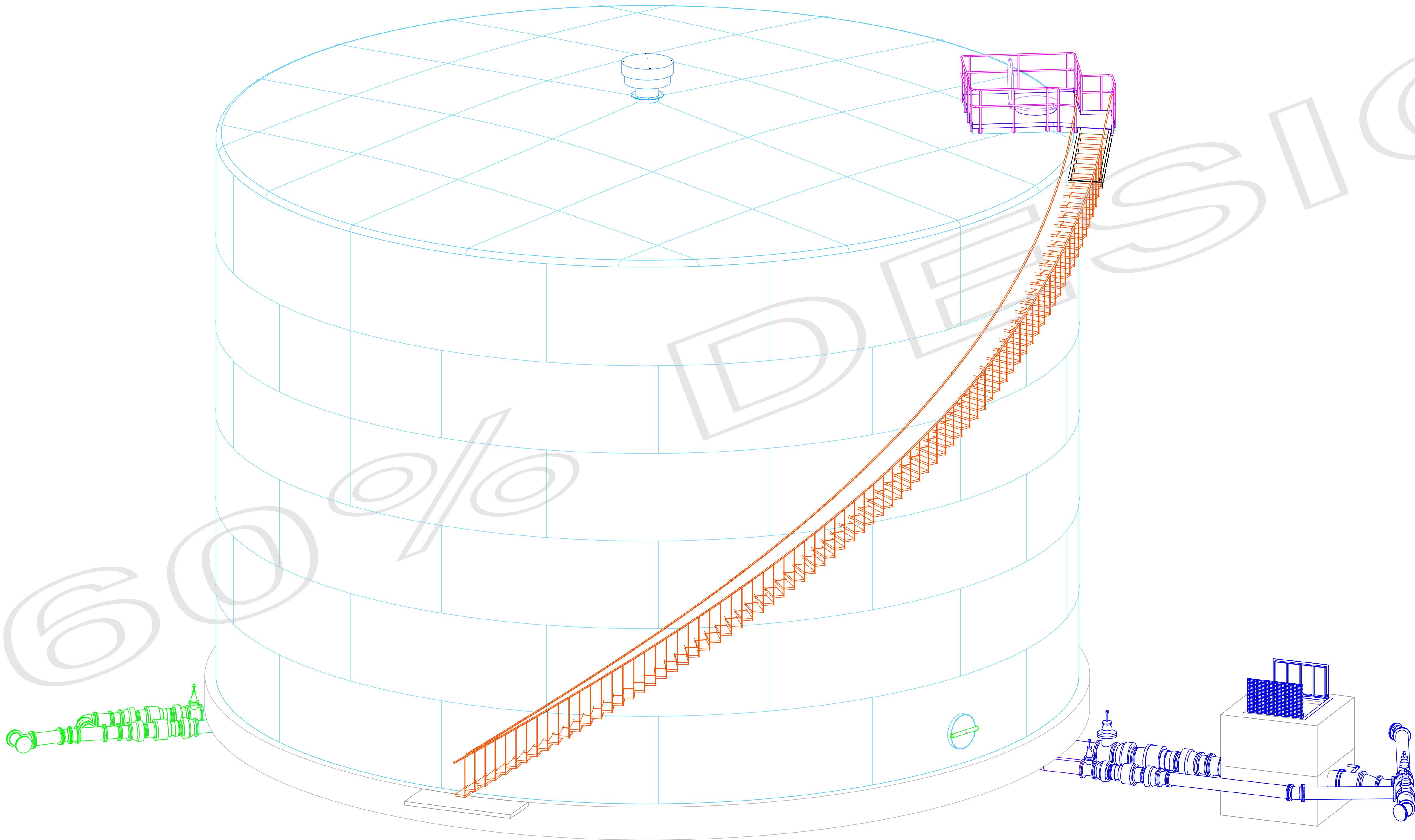




CITY OF STANWOOD

297 ZONE RESERVOIR DESIGN

SUMMER 2019



RESERVOIR OBLIQUE

DRAWING INDEX

SHEET NO.	SHEET TITLE	DWG NO.
-	COVER	COV
1	GENERAL NOTES AND INFORMATION	G01
2	STORMWATER POLLUTION PREVENTION PLAN	G02
3	EXISTING SITE PLAN	C01
4	CONSTRUCTION GRADING, DEMOLITION AND TESC PLAN	C02
5	CONSTRUCTION AND TESC DETAILS	C03
6	PROPOSED SITE GRADING PLAN	C04
7	PROPOSED SITE UTILITY PLAN	C05
8	SITE AND UTILITY DETAILS I	C06
9	SITE AND UTILITY DETAILS II	C07
10	SITE AND UTILITY DETAILS III	C08
11	LANDSCAPING PLAN	L01
12	LANDSCAPING NOTES AND DETAILS	L02
13	LANDSCAPING DETAILS	L03
14	STRUCTURAL GENERAL NOTES	S01
15	RESERVOIR FLOOR PLAN AND ROOF FRAMING PLAN	S02
16	RESERVOIR ELEVATION AND DETAILS	S03
17	RESERVOIR ROOF ACCESS DETAILS	S04
18	STRUCTURAL DETAILS I	S05
19	STRUCTURAL DETAILS II	S06
20	MECHANICAL PLAN	M01
21	MECHANICAL DETAILS I	M02
22	MECHANICAL DETAILS II	M03
23	MECHANICAL DETAILS III	M04

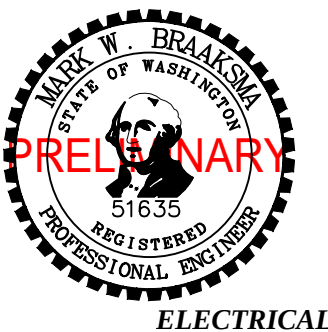
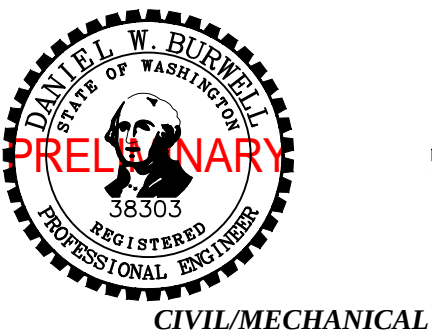
INDICATES ITEMS NOT INCLUDED IN THE 60-PERCENT SUBMITTAL BUT WILL BE PROVIDED AT 90-PERCENT. ELECTRICAL RELATED PLANS WILL BE INCLUDED AT 90-PERCENT AND ARE NOT SHOWN HERE.

CONTACT PERSONNEL

CONTACT	AGENCY	PHONE
KEVIN HUSHAGEN (PUBLIC WORKS DIRECTOR)	CITY OF STANWOOD	360.629.9782
SHAWN SMITH, P.E. (CITY ENGINEER)	CITY OF STANWOOD	360.629.9781x9
GINA SEEGER (MAINTENANCE SUPERVISOR)	CITY OF STANWOOD	425.508.7829
XXX	XXX	XXX-XXXX

CALL 48 HOURS BEFORE YOU DIG
ONE CALL 811

REPORT ALL SPILLS
DEPT. OF ECOLOGY 1-800-258-5990



GENERAL NOTES

1. ALL WORKMANSHIP, CONSTRUCTION AND MATERIALS SHALL BE PERFORMED OR SUPPLIED IN ACCORDANCE WITH THE SPECIAL PROVISIONS, PLANS, CITY OF STANWOOD STREET AND UTILITY STANDARDS AND STANDARD DETAILS AND THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, CURRENT EDITION, AS ISSUED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION, WHICH IS HEREINAFTER REFERRED TO AS THE STANDARD SPECIFICATIONS.
2. A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO CONSTRUCTION AND 48 HOURS ADVANCE NOTIFICATION PRIOR TO ACTUAL START OF WORK IS REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
4. A LICENSED ENGINEERING OR SURVEYING FIRM SHALL STAKE ALL VERTICAL AND/OR HORIZONTAL ALIGNMENT.
5. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK TO AVOID DAMAGE OR DISTURBANCE, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES. IT IS UNDERSTOOD THAT OTHER ABOVE GROUND AND UNDERGROUND FACILITIES NOT SHOWN ON THE PLANS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK.
6. THE CONTRACTOR SHALL PROTECT BUILDINGS, FENCES, APPURTENANCES, ABOVE GROUND UTILITIES, AND OTHER PROPERTY ADJACENT TO ALL CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REPAIRING ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
7. IN ACCORDANCE WITH THE DEPARTMENT OF ECOLOGY AIR QUALITY STANDARDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING ALL FUGITIVE DUST THAT MAY BE GENERATED BY THE CONSTRUCTION PROJECT.
8. THE CONTRACTOR SHALL CONTAIN WORK TO WITHIN THE CITY OWNED PARCEL.
9. ONSITE EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND BE IN PLACE PRIOR TO CONSTRUCTION. ANY PROBLEMS OCCURRING BEFORE FINAL ACCEPTANCE BY THE CITY OF STANWOOD SHALL BE CORRECTED BY THE CONTRACTOR. UPON FINAL ACCEPTANCE BY THE CITY OF STANWOOD OR AS OTHERWISE DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY, NON-DEGRADABLE EROSION CONTROL MEASURES.
10. ANY REVISIONS TO PLANS MUST BE APPROVED BY THE CITY OF STANWOOD PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
11. ALL PAVEMENT MARKINGS AND SIGNING SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD. REPLACE ALL MARKINGS AND SIGNING DAMAGED OR REMOVED DUE TO CONSTRUCTION.
12. A COPY OF THE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
13. FORM AND SUBGRADE INSPECTION BY THE CITY IS REQUIRED BEFORE POURING CONCRETE. FORTY-EIGHT HOURS NOTICE IS REQUIRED FOR FORM INSPECTION.
14. CONTRACTOR SHALL COORDINATE WITH RESIDENTS, TENANTS AND BUSINESS OPERATORS OF CONSTRUCTION ACTIVITIES THAT AFFECT DRIVEWAYS, ACCESS, MAILBOX RELOCATION, LANDSCAPING REMOVAL AND/OR OPERATIONS OF THE RESPECTIVE RESIDENTS, TENANTS AND BUSINESS OPERATORS. COORDINATION MAY INCLUDE, BUT IS NOT LIMITED TO, USING DOOR HANGERS, IN PERSON CONTACT, AND/OR PRINTED NOTICES.

SECTION AND DETAIL REFERENCES

THE FOLLOWING CONVENTIONS HAVE BEEN USED WITHIN THESE DRAWINGS TO REFER THE READER BETWEEN THE SECTION/DETAIL AND THE PLAN FROM WHICH IT IS REFERENCED.

REFERENCE BUBBLES



PLAN REFERENCE BUBBLE - REFERS READER BACK TO THE PLAN FROM WHICH THE DETAIL OF SECTION ORIGINATED.



DETAIL/SECTION REFERENCE BUBBLE - REFERS READER TO THE DRAWING ON WHICH THE
DETAIL OR SECTION IS LOCATED.

WHERE, ID = SECTION/DETAIL REFERENCE NUMBER
= DRAWING NUMBER ON WHICH DETAIL ORIGINATED OR RESIDES.

SECTION/DETAIL REFERENCE NUMBER CONVENTIONS:
SECTIONS OR ELEVATIONS SHOULD HAVE A LETTER REFERENCE NUMBER
(A THROUGH ZZ).

SURVEY NOTES

SURVEY HAS BEEN OBTAINED FROM MULTIPLE SOURCES. THE MAJORITY OF THE SURVEY WAS OBTAINED DURING THE DESIGN OF THE CEDARHOME 0.55 MG ELEVATED RESERVOIR. IN ADDITION TO THE SURVEY PERFORMED BY TOUMA ENGINEERS & SURVEYORS CONSTRUCTION RECORDS AFTER COMPLETION OF THE ELEVATED RESERVOIR HAVE BEEN INCLUDED BY RH2. CONTRACTOR SHALL CONFIRM THE STATUS OF ALL IMPACTED BY CONSTRUCTION WHETHER THEY ARE LISTED AS ABANDONED, REMOVED OR IN SERVICE.

DATE OF SURVEY: FEBRUARY 2005
ORIGINAL SURVEY COMPLETED BY: TOUMA ENGINEERS & SURVEYORS
INSTRUMENT: TOPCON GPT-3000W TOTAL STATION DTMA10LG
METHOD USED: FIELD TRAVERSE WITH ACTUAL FIELD MEASUREMENTS AND ANGLES WAC
332-130-090

HORIZONTAL CONTROL:

VERTICAL CONTROL:
NGVD 1929/47

BASIS OF BEARING:
EAST LINE OF SECTION OF THE NW 1/4 OF SECTION 20-32N-4E (N 00°37'49"E) 68th AVE NW

BENCHMARK:
RR SPIKE AT THE NW CORNER OF 80th DRIVE NW & 276th STREET NW. HORTON DENNIS ASSOC. JOB
NUMBER 9175.00. ELEVATION = 145.79' (NGVD 1929/47)

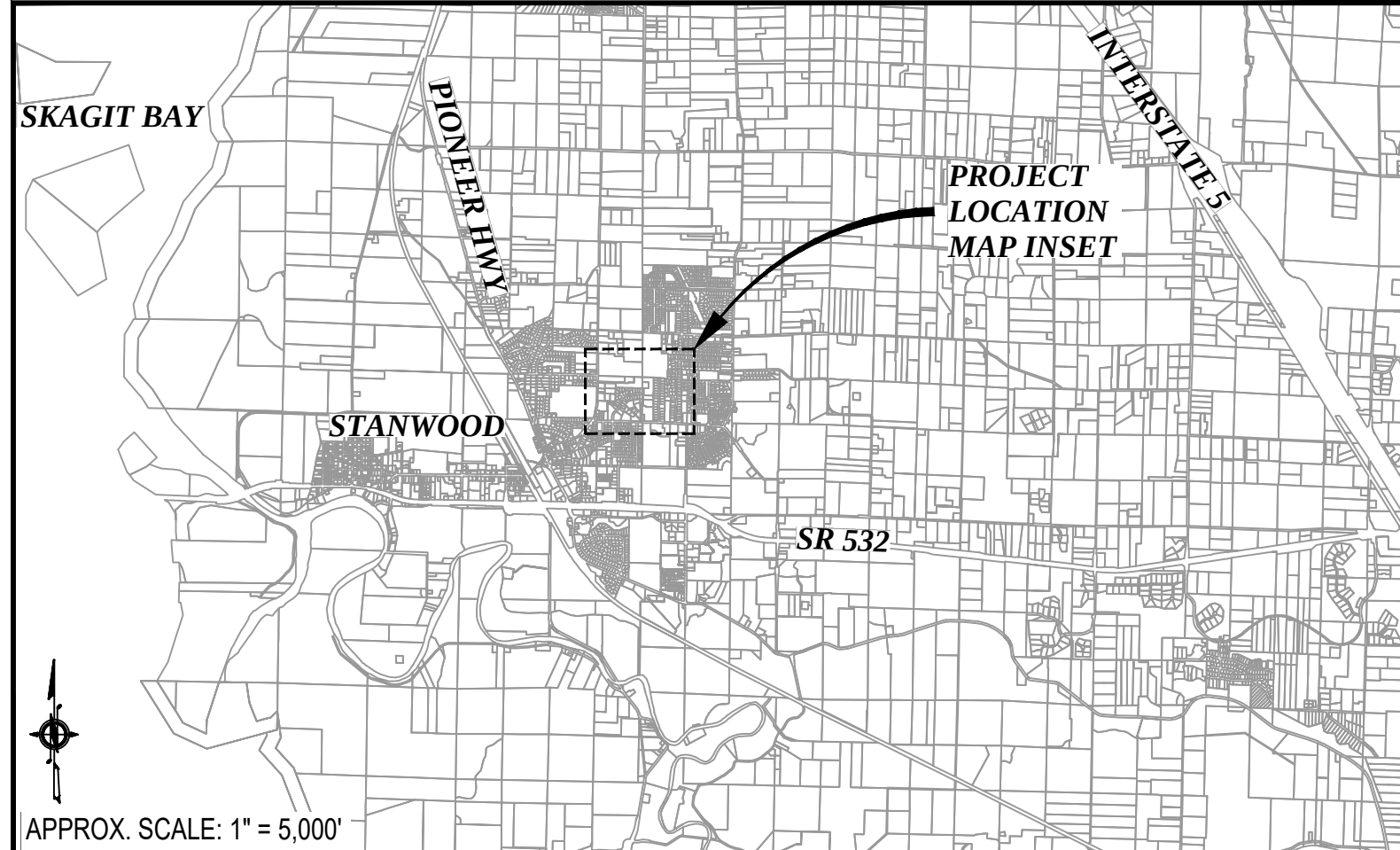
NOTE: ELEVATION WAS USED ON PRIOR JOB FOR RH2 KNITTLE RESERVOIR

CONVERSION: APPLY A CONVERSION FACTOR OF -7.5 FEET TO
PRELIMINARY PLAT OF SUN RISE MEADOWS BY
LOVELL-SAUERLUND & ASSOC, INC. JOB # 4539-0-03

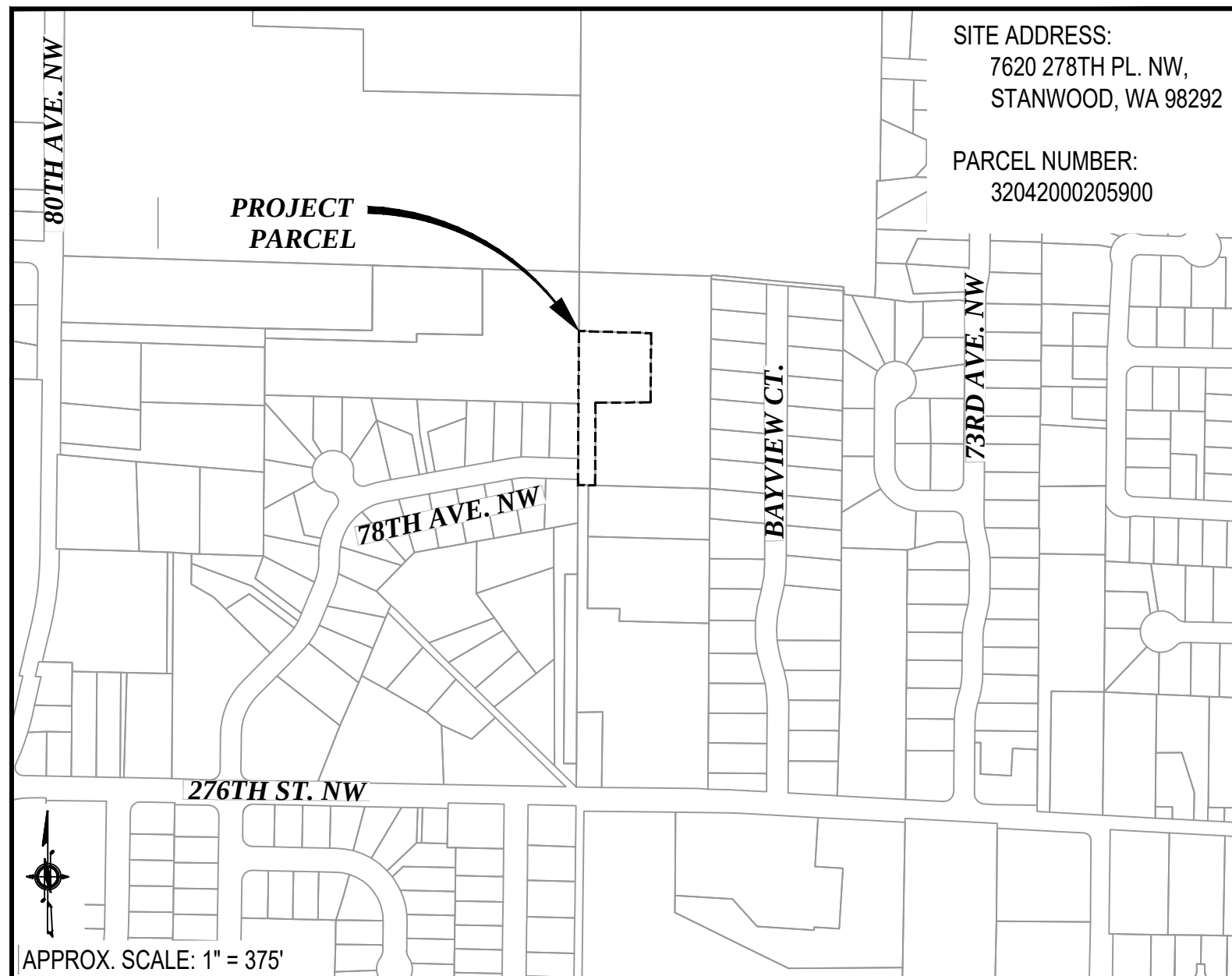
ABBREVIATIONS

CB	CATCH BASIN	PROP	PROPOSED
COMM	COMMUNICATIONS	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RT	RIGHT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CPEP	CORRUGATED POLYETHYLENE	SPEC	SPECIFICATIONS
CSBC	CRUSHED SURFACING BASE COURSE	SS	STAINLESS STEEL
CSTC	CRUSHED SURFACING TOP COURSE	SSWR	SANITARY SEWER
DIAM	DIAMETER	SSMH	SANITARY SEWER MANHOLE
DI	DUCTILE IRON	SSW	SLIP SOLVENT WELD
DWG	DRAWING	ST	STORM
E	EASTING	SY	SQUARE YARDS
ELEV	ELEVATION	TYP	TYPICAL
EX	EXISTING	W	WATER
LT	LEFT		
LTF	LENGTH TO FIT		
LF	LINEAR FEET		
N	NORTHING		

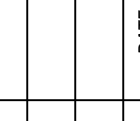
PROJECT VICINITY MAP



PROJECT LOCATION MAP



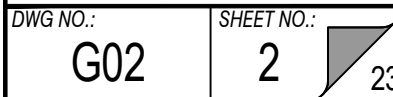
 CITY OF STANWOOD 297 ZONE RESERVOIR DESIGN		GENERAL NOTES AND INFORMATION			
ENGINEER: CMP	SAVE DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152		
REVIEWED: DWB	PLOT DATE: Jan 31, 2019	FILENAME: CHR2-D-COV.DWG			
REVISIONS					
NO.	DATE	DESCRIPTION	BY	REVIEW	

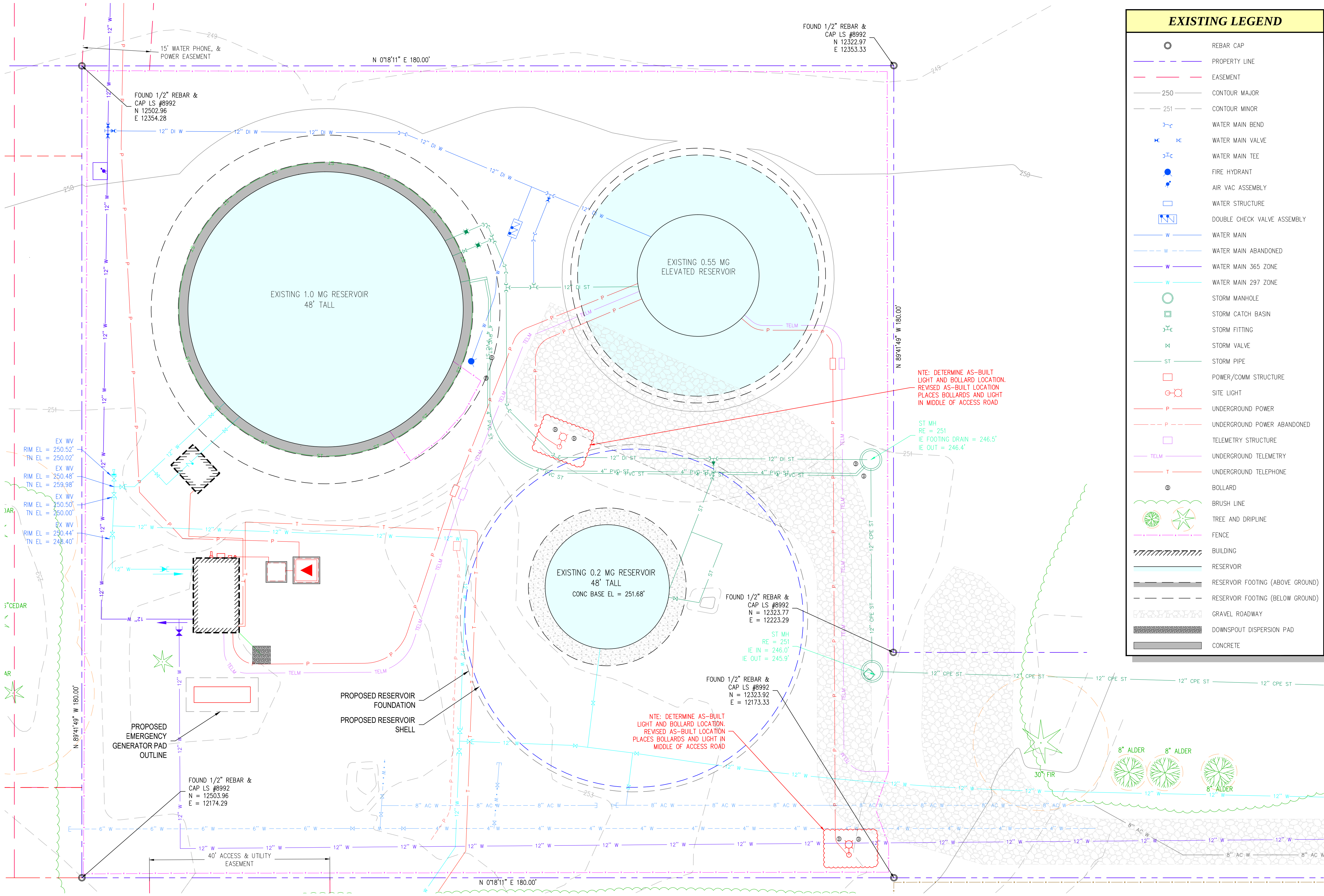
SCALE: SHOWN	
 0' 1' 2'	DRAWING IS FULL SCALE WHEN BAR MEASURES 2"
DWG NO.: G01	SHEET NO.: 1 / 23

STORMWATER POLLUTION PREVENTION PLAN

TO BE UPDATED BY 90 PERCENT SUBMITTAL

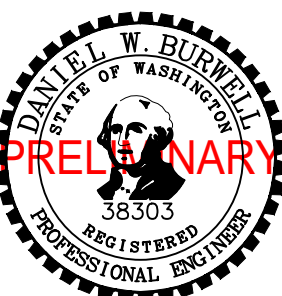
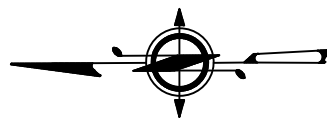
- NO APPLICABLE BMPS.





EXISTING LEGEND	
	REBAR CAP
	PROPERTY LINE
	EASEMENT
	CONTOUR MAJOR
	CONTOUR MINOR
	WATER MAIN BEND
	WATER MAIN VALVE
	WATER MAIN TEE
	FIRE HYDRANT
	AIR VAC ASSEMBLY
	WATER STRUCTURE
	DOUBLE CHECK VALVE ASSEMBLY
	WATER MAIN
	WATER MAIN ABANDONED
	WATER MAIN 365 ZONE
	WATER MAIN 297 ZONE
	STORM MANHOLE
	STORM CATCH BASIN
	STORM FITTING
	STORM VALVE
	STORM PIPE
	POWER/COMM STRUCTURE
	SITE LIGHT
	UNDERGROUND POWER
	UNDERGROUND POWER ABANDONED
	TELEMETRY STRUCTURE
	UNDERGROUND TELEMETRY
	UNDERGROUND TELEPHONE
	BOLLARD
	BRUSH LINE
	TREE AND DRIPLINE
	FENCE
	BUILDING
	RESERVOIR
	RESERVOIR FOOTING (ABOVE GROUND)
	RESERVOIR FOOTING (BELOW GROUND)
	GRAVEL ROADWAY
	DOWNSPOUT DISPERSION PAD
	CONCRETE

EXISTING SITE PLAN
1" = 10'

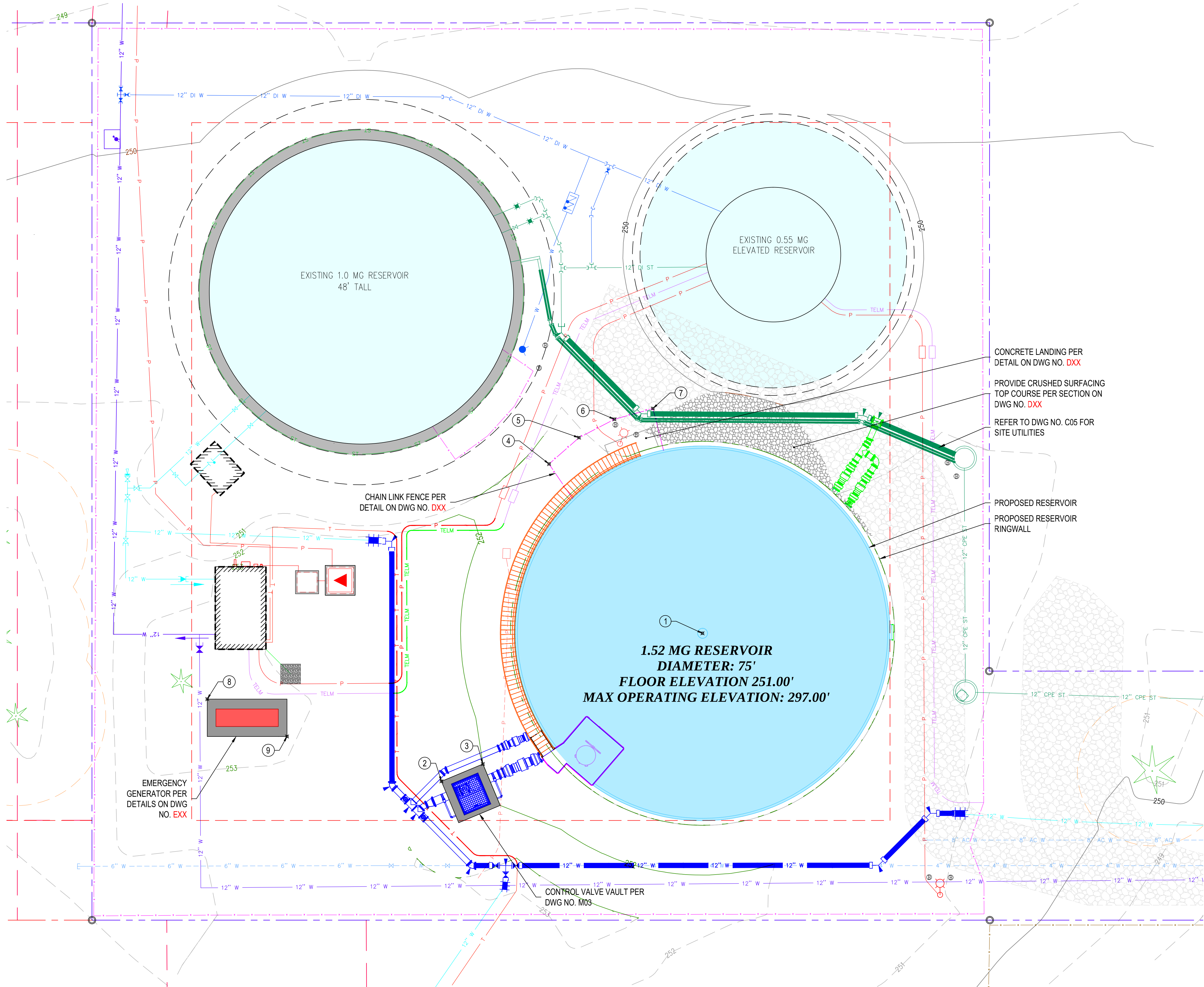


CITY OF STANWOOD
297 ZONE RESERVOIR DESIGN

EXISTING SITE PLAN



REVISIONS		DATE	DESCRIPTION	BY	REVIEW
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					



GRADING POINT TABLE				
POINT NO.	DESC.	ELEV.	NORTHING	EASTING
1	TANK CENTER		12381.22	12231.18
2	VAULT CORNER	253.00	12433.72	12201.76
3	VAULT CORNER	253.00	12425.40	12205.19
4	FENCE CORNER		12411.81	12265.30
5	FENCE CORNER		12405.78	12270.56
6	FENCE CORNER	12398.65		12274.21
7	FENCE CORNER	12390.93		12276.33
8	GENERATOR PAD	253.00	12480.60	12218.50
9	GENERATOR PAD	253.00	12464.64	12210.91

NOTE: POINT TABLE TO BE UPDATED AT 90-PERCENT SUBMITTAL TO INCLUDE SIGNIFICANT ELEVATION POINT AND OTHER SITE UTILITIES.

RH2

ENGINEERING

40 YEARS

SINCE 1978

BELLINGHAM, WA

4164 Meridian Street, Suite 302

www.rh2.com 1.800.720.8052

DANIEL W. BURDETTE

STATE OF WASHINGTON

36752

REGISTERED PROFESSIONAL ENGINEER

DANIEL W. BURDETTE

STATE OF WASHINGTON

36303

REGISTERED PROFESSIONAL ENGINEER

CITY OF STANWOOD

297 ZONE RESERVOIR DESIGN

PROPOSED SITE GRADING PLAN

ENGINEER: CMP

DATE: Jan 31, 2019

CLIENT: STA

JOB NO.: 418-152

REVIEWED: DWG

DATE: Jan 31, 2019

FILENAME: CHR2-D-CV03.DWG

REVISIONS

NO.	DATE	DESCRIPTION	BY	REVIEW

SCALE: SHOWN

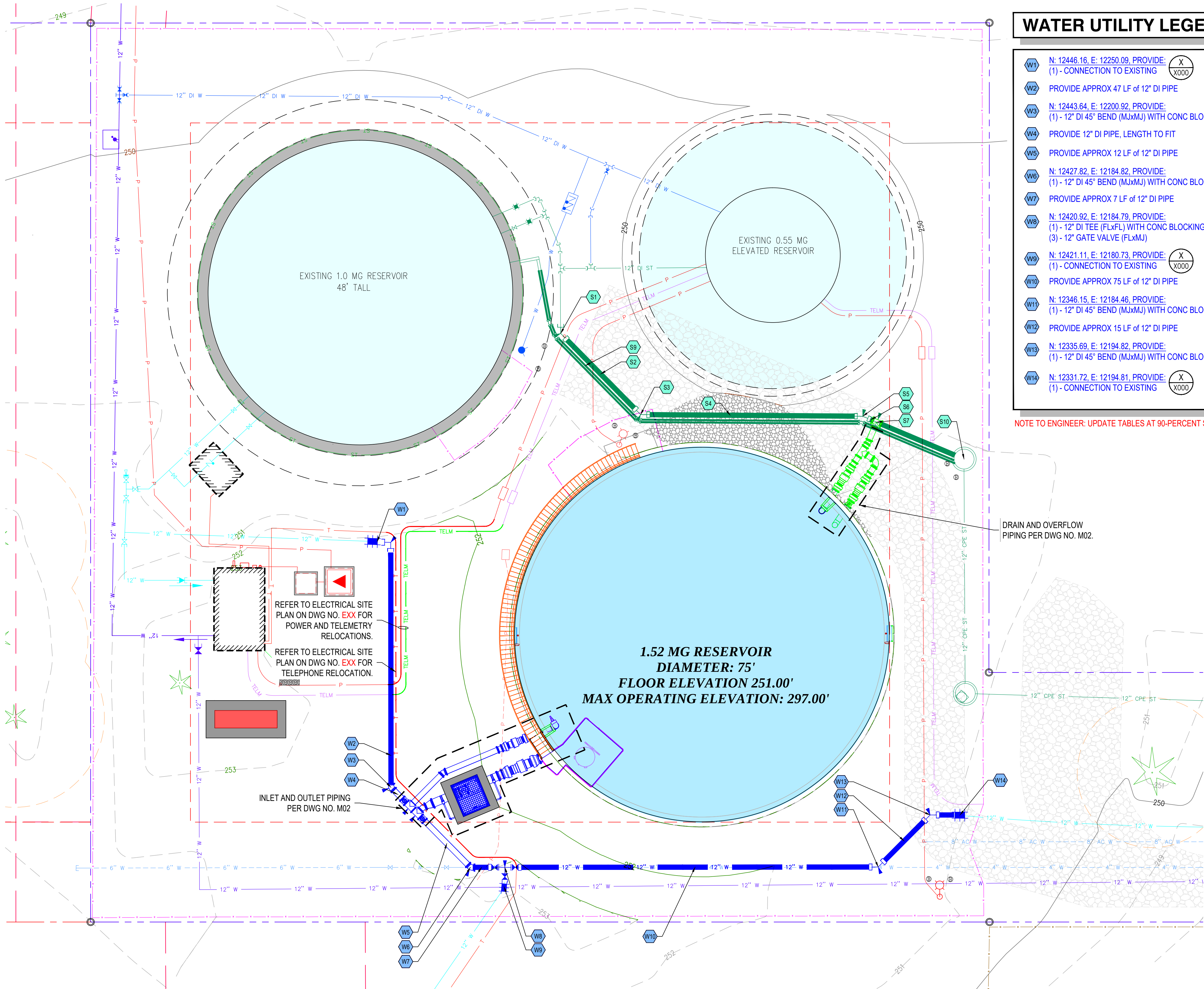
0" 1" 2"

DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

DWG NO.: C04

SHEET NO.: 6

23



WATER UTILITY LEGEND

- W1 N: 12446.16, E: 12250.09, PROVIDE: (1) - CONNECTION TO EXISTING
- W2 PROVIDE APPROX 47 LF of 12" DI PIPE
- W3 N: 12443.64, E: 12200.92, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W4 PROVIDE 12" DI PIPE, LENGTH TO FIT
- W5 PROVIDE APPROX 12 LF of 12" DI PIPE
- W6 N: 12427.82, E: 12184.82, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W7 PROVIDE APPROX 7 LF of 12" DI PIPE
- W8 N: 12420.92, E: 12184.79, PROVIDE: (1) - 12" DI TEE (FLxFL) WITH CONC BLOCKING (3) - 12" GATE VALVE (FLxMJ)
- W9 N: 12421.11, E: 12180.73, PROVIDE: (1) - CONNECTION TO EXISTING
- W10 PROVIDE APPROX 75 LF of 12" DI PIPE
- W11 N: 12346.15, E: 12184.46, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W12 PROVIDE APPROX 15 LF of 12" DI PIPE
- W13 N: 12335.69, E: 12194.82, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W14 N: 12331.72, E: 12194.81, PROVIDE: (1) - CONNECTION TO EXISTING

STORM UTILITY LEGEND

- S1 N: 12409.19, E: 12291.63, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- S2 PROVIDE APPROX 23 LF of 12" DI PIPE
- S3 N: 12393.25, E: 12275.28, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- S4 PROVIDE APPROX 44 LF of 12" DI PIPE
- S5 N: 12348.77, E: 12274.72, PROVIDE: (1) - 12" DI 22-1/2° BEND (MJxMJ) WITH CONC BLOCKING
- S6 PROVIDE 12" DI PIPE, LENGTH TO FIT
- S7 N: 12345.97, E: 12273.52, PROVIDE: (1) - 12" DI TEE (MJxMJ) WITH CONC BLOCKING
- S8 PROVIDE APPROX 16 LF of 12" DI PIPE
- S9 PROVIDE APPROX 206 LF of 4" SCH 40 PVC PIPE AND ANY NECESSARY FITTINGS TO RELOCATE THE EXISTING FOUNDATION DRAINS. ROUTE PVC PARALLEL TO DRAIN AND OVERFLOW LINE.
- S10 N: 12328.53, E: 12266.04, PROVIDE: (1) - STORM AIR GAP MANHOLE

SITE UTILITY LEGEND

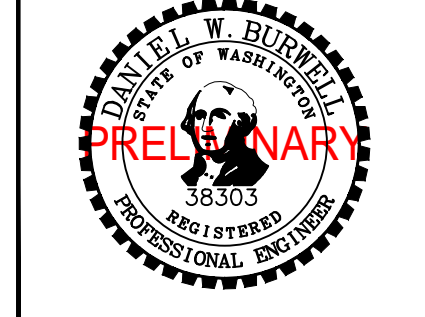
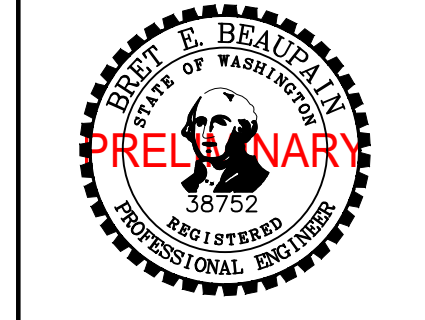
- 1170 MAJOR CONTOUR
- 1171 MINOR CONTOUR
- RESERVOIR
- RESERVOIR FOOTING
- STORM LINE
- STORM FITTING
- WATER MAIN
- WATER FITTING
- VAULT
- VAULT HATCH

NOTE TO ENGINEER: VERIFY NORTHINGS AND EASTINGS ARE ACCURATE AND ARE REFERENCING THE CORRECT DATUM.

NOTE TO ENGINEER: UPDATE TABLES AT 90-PERCENT SUBMITTAL

DRAIN AND OVERFLOW PIPING PER DWG NO. M02.

PROPOSED SITE UTILITY PLAN
1" = 10'



CITY OF STANWOOD
297 ZONE RESERVOIR DESIGN

PROPOSED SITE UTILITY PLAN

REVISIONS

NO.	DATE	DESCRIPTION	BY	REVIEW

SCALE: SHOWN

DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

DWG NO.: C05 SHEET NO.: 7 23

200
TYP.

MINIMUM FROST DEPTH	18"
MAXIMUM SOIL BEARING CAPACITY:	2,000 PSF
SOILS REPORT REFERENCE	"ENGINEERING GEOLOGY REPORT" PREPARED BY RH2 ENGINEERING

WIND LOAD	105 MPH, EXPOSURE C
SNOW LOAD	25 PSF
EARTHQUAKE LOAD	LAT 47.825, LONG 122.274, SOIL PROFILE TYPE C

OCCUPANCY CATEGORY	III, WASTE WATER FACILITY
CONCRETE	4,000 PSI WITH 60,000 PSI REINFORCING
CMU	1,500 PSI WITH 60,000 PSI REINFORCING
STEEL	A36 FOR PLATES, A992 FOR OTHER

ROOF 20 PSF

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2012 EDITION)

SPECIAL INSPECTIONS AND TESTS SHALL INCLUDE THE FOLLOWING. REFER TO IBC SECTION 1704 AND 1705 FOR DETAILS.

1. SPECIAL INSPECTIONS BY THE GEOTECHNICAL ENGINEER INCLUDING:
 - 1.1. SITE EXCAVATION AND GRADING
 - 1.2. PLACEMENT OF STRUCTURAL FILL AND SOIL COMPACTION
 - 1.3. VERIFICATION OF SOIL-BEARING CAPACITY
2. CONCRETE PLACEMENT AT CONCRETE CONSTRUCTION: CONTINUOUS, SEE ALSO SECTION 1705.3 OF THE INTERNATIONAL BUILDING CODE.
3. REINFORCEMENT AT CONCRETE CONSTRUCTION: PERIODIC, SEE ALSO SECTION 1705.3.
4. MASONRY CONSTRUCTION, INCLUDING PLACEMENT OF MASONRY UNITS, MORTAR, REINFORCEMENT AND STRUCTURAL CONNECTIONS: PERIODIC, SEE ALSO SECTION TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
5. GROUT PLACEMENT AT MASONRY CONSTRUCTION: CONTINUOUS, SEE ALSO SECTION TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
6. WOOD-FRAMED LATERAL-FORCE RESISTING SYSTEM: PERIODIC, SEE ALSO SECTION 1705.10.
7. TESTING OF CONCRETE FOR SPECIFIED COMPRESSIVE STRENGTH (FC), AIR CONTENT AND SLUMP. SEE ALSO TABLE 1705.3.
8. VERIFICATION OF SPECIFIED COMPRESSIVE STRENGTH (FM) OF MASONRY PRIOR TO CONSTRUCTION AND EVERY 5,000 SQUARE FEET DURING CONSTRUCTION. SEE ALSO TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
9. STRUCTURAL OBSERVATION BY A REGISTERED DESIGN PROFESSIONAL IN ACCORDANCE WITH IBC 1704.5 SHALL BE PROVIDED.

LINES SHOWN ON DRAWINGS MAY BE ASSOCIATED WITH CAD MODELING AND MAY NOT
 REPRESENT REQUIRED OR ALLOWED JOINTS. SEE DETAILS FOR CLARIFICATION ON REQUIRED AND
 ALLOWED JOINTS.

1. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-99 AND 318-11. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH THE "REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE" - SEE THIS SHEET. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
2. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
3. A 6" WATERSTOP SHALL BE PLACED AT ALL BELOW GRADE CONCRETE SLAB AND WALL CONSTRUCTION JOINTS AND AS SHOWN TO PROVIDE A WATERTIGHT STRUCTURE.
4. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - 4.1. FOOTINGS AND OTHER UNIFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - 4.2. FORMED SURFACES EXPOSED TO EARTH (WALLS BELOW GRADE), WATER OR WEATHER (#6 BARS OR LARGER) 2"
 - 4.3. COLUMN TIES OR SPIRALS AND BEAM STIRRUPS 2"
 - 4.4. SLABS AND INTERIOR FACES 2"

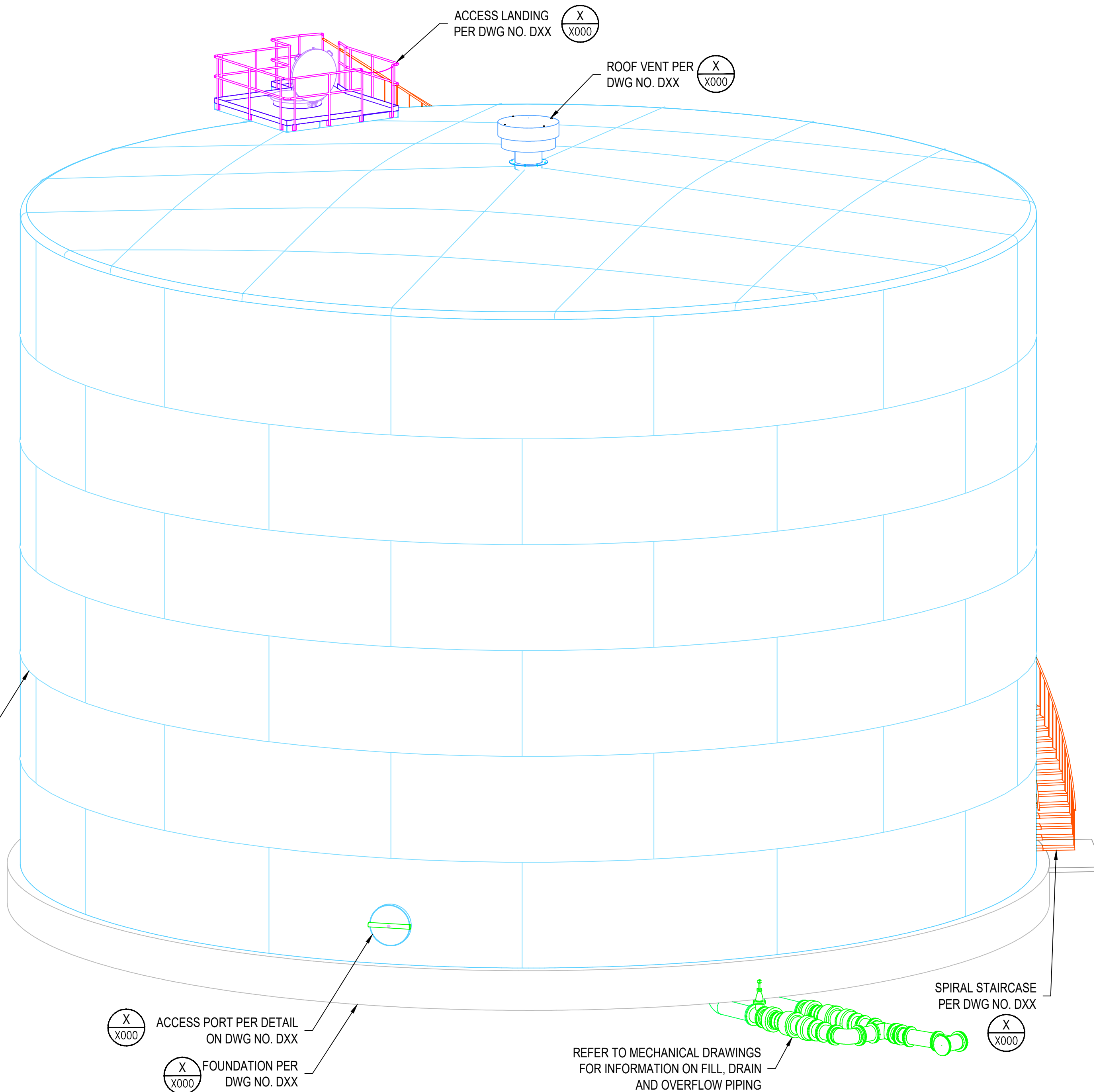
AL - ALUMINUM
CHK - CHECKERED
CL - CENTERLINE
CLR - CLEAR
EA - EACH
EF - EACH FACE
FB - FLAT BAR
GALV - GALVANIZED
HORZ - HORIZONTAL
LLV - LONG LEG VERT
O.C. - ON CENTER
PL - PLATE
RB - ROUND BAR
RST - REINF. STEEL
SST - STAINLESS STEEL
T&B - TOP & BOTTOM
VERT - VERTICAL

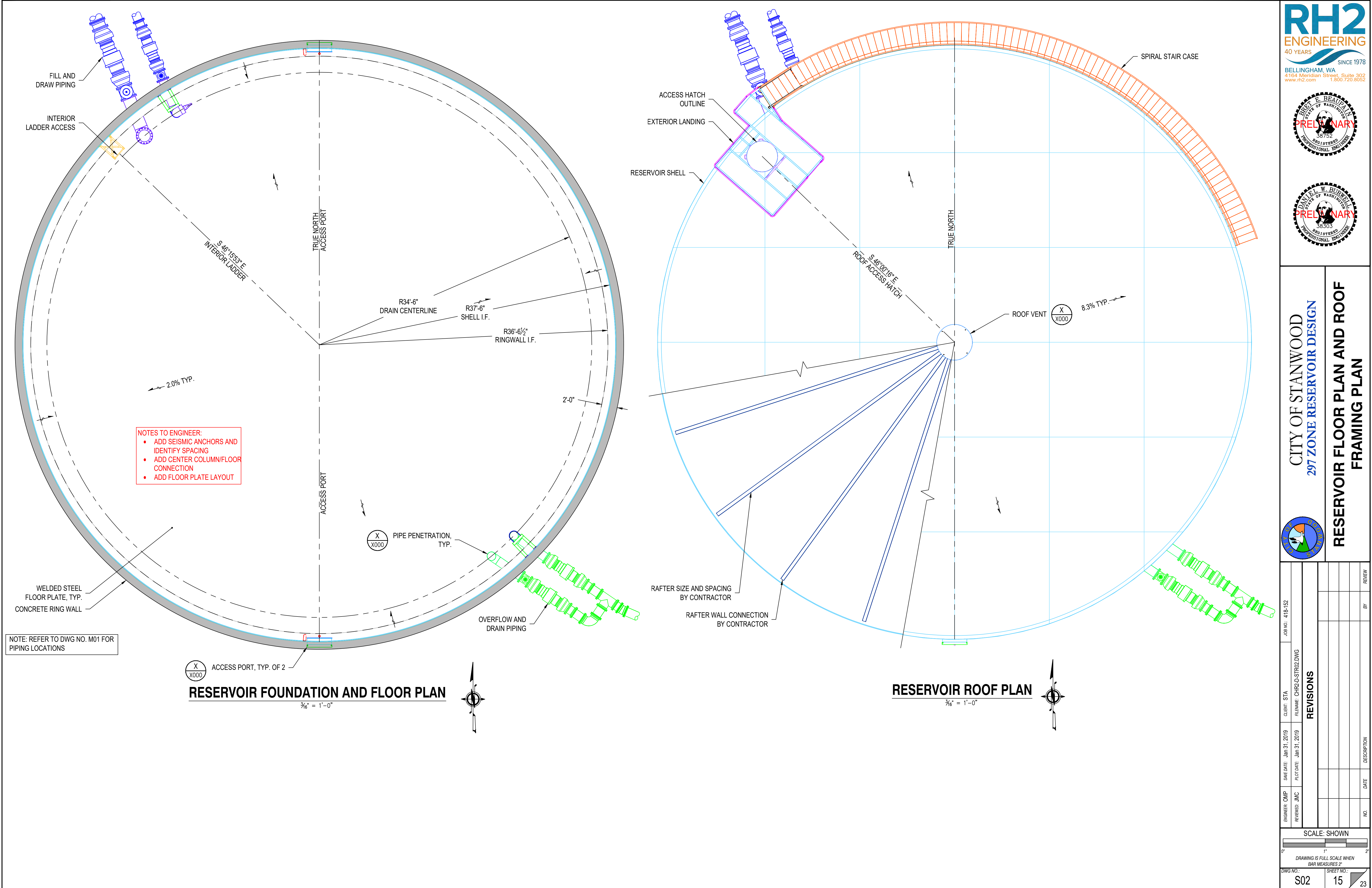
REINFORCEMENT SPLICE AND DEVELOPMENT SCHEDULE					
	Ld, MINIMUM STRAIGHT DEVELOPMENT LENGTHS			MINIMUM LAP SPLICE LENGTHS	
BAR	MINIMUM	TOP BARS	OTHERWISE	CLASS A	CLASS B
#3	19"	25"	29"	Ld	1.3xLd
#4	24"	32"	36"	Ld	1.3xLd
#5	29"	38"	43"	Ld	1.3xLd
#6	42"	55"	63"	Ld	1.3xLd
"MINIMUM" IF: MIN COVER OF ONE BAR Ø AND MIN SPACING OF TWO BAR DIAMETERS MIN COVER ONE Ø, MIN SPACING OF ONE BAR Ø, AND TIES OR STIRRUPS LESS THAN 12" OF FRESH CONCRETE BELOW HORIZONTAL BARS "TOP BARS" IF: MEETS CRITERIA FOR MIN EXCEPT 12" OR MORE FRESH CONC BELOW "OTHERWISE" IF: DOES NOT MEET REQUIREMENTS FOR MIN DEVELOPMENT LENGTH "CLASS A" IF: ONLY HALF OF BARS LAPPED AT ONE LOCATION AND TWICE THE REINFORCING FOR TENSION IS PROVIDED "CLASS B" IF: LAP SPLICES DO NOT MEET CLASS A REQUIREMENTS					

WHERE SIZE IS NOT CALLED OUT, ANCHOR SHALL BE SELECTED BASED ON DESIGN LOADS. IF THE MINIMUM EDGE DISTANCE AND/OR MINIMUM SPACING CAN NOT BE ACHIEVED, REFER TO PRODUCT INFORMATION FOR REDUCTION IN ALLOWABLE LOADS.

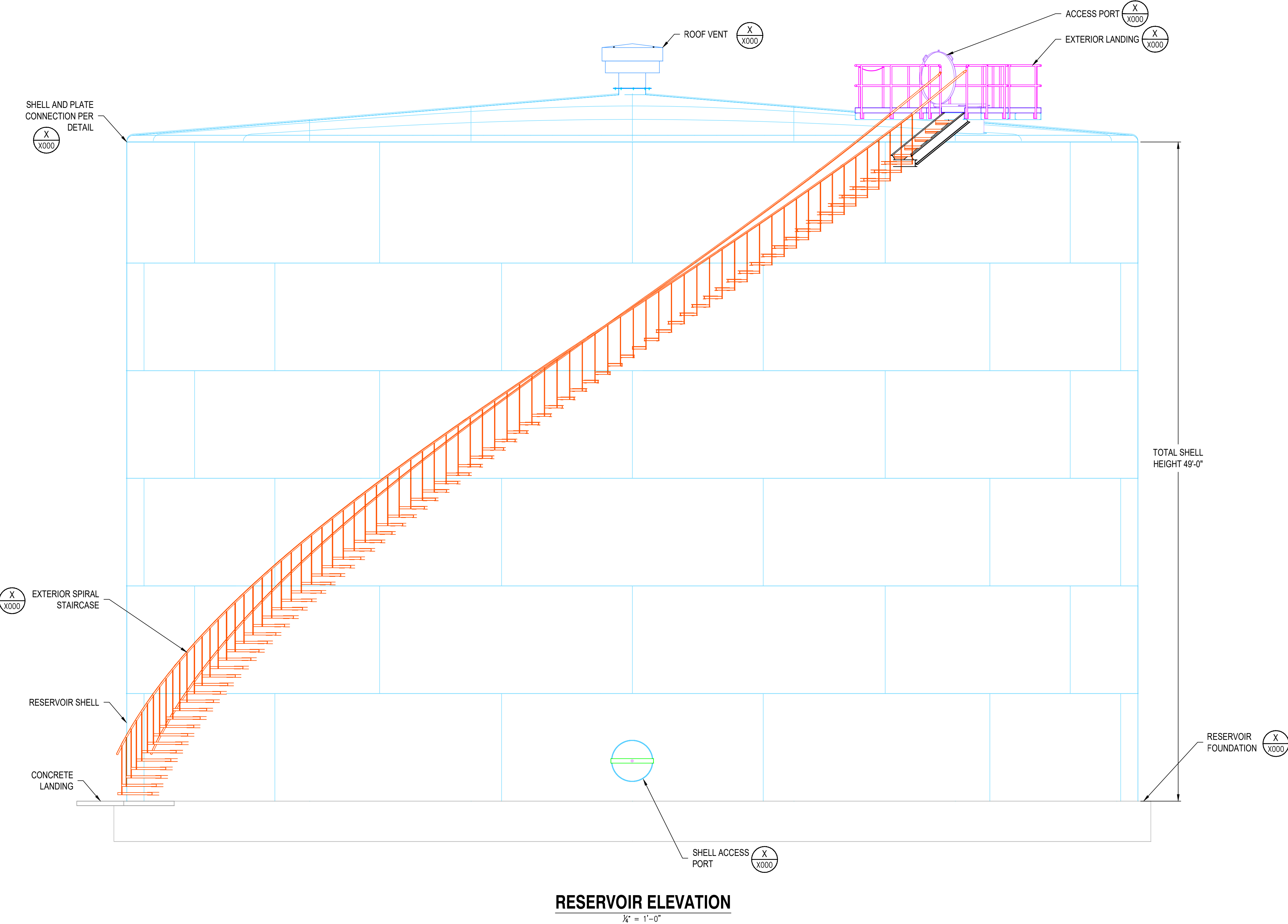
CONCRETE ANCHORS					
HILTI HIT-RE 500 V3, SIMPSON STRONG-TIE SET-XP & POWERS PE1000+					
DIA. OF ROD (INCHES) OR REBAR SIZE NO.	MIN. EDGE DISTANCE (INCHES)	MIN. EMBEDMENT (INCHES)	MIN. ANCHOR SPACING (INCHES)	ALLOWABLE LOAD BASED ON BOND STRENGTH (POUNDS)	
				TENSION	SHEAR
1/2	2-1/2	2-3/4	2-1/2	1,027	2,210
5/8	3-1/8	3-1/8	3-1/8	1,312	2,827
3/4	3-3/4	3-1/2	3-3/4	1,556	3,351
7/8	4-3/8	3-1/2	4-3/8	1,556	3,351
#4	2-1/2	4-1/2	2-1/2	1,520	3,618
#5	3-1/8	5-5/8	3-1/8	1,775	5,494
#6	3-3/4	6-3/4	3-3/4	2,225	7,570
#7	4-3/8	7-7/8	4-3/8	2,440	9,428
#8	5	9	5	4,520	11,507

201
TYP.

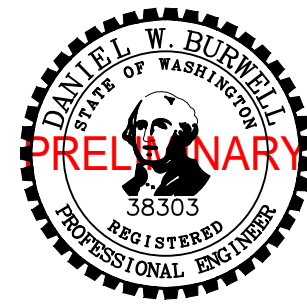
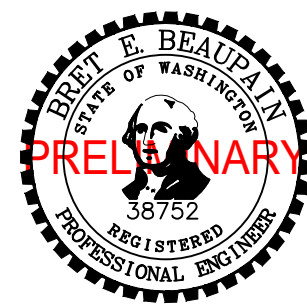
[illegible]



TO BE UPDATED AT 90-PERCENT SUBMITTAL



RESERVOIR ELEVATION

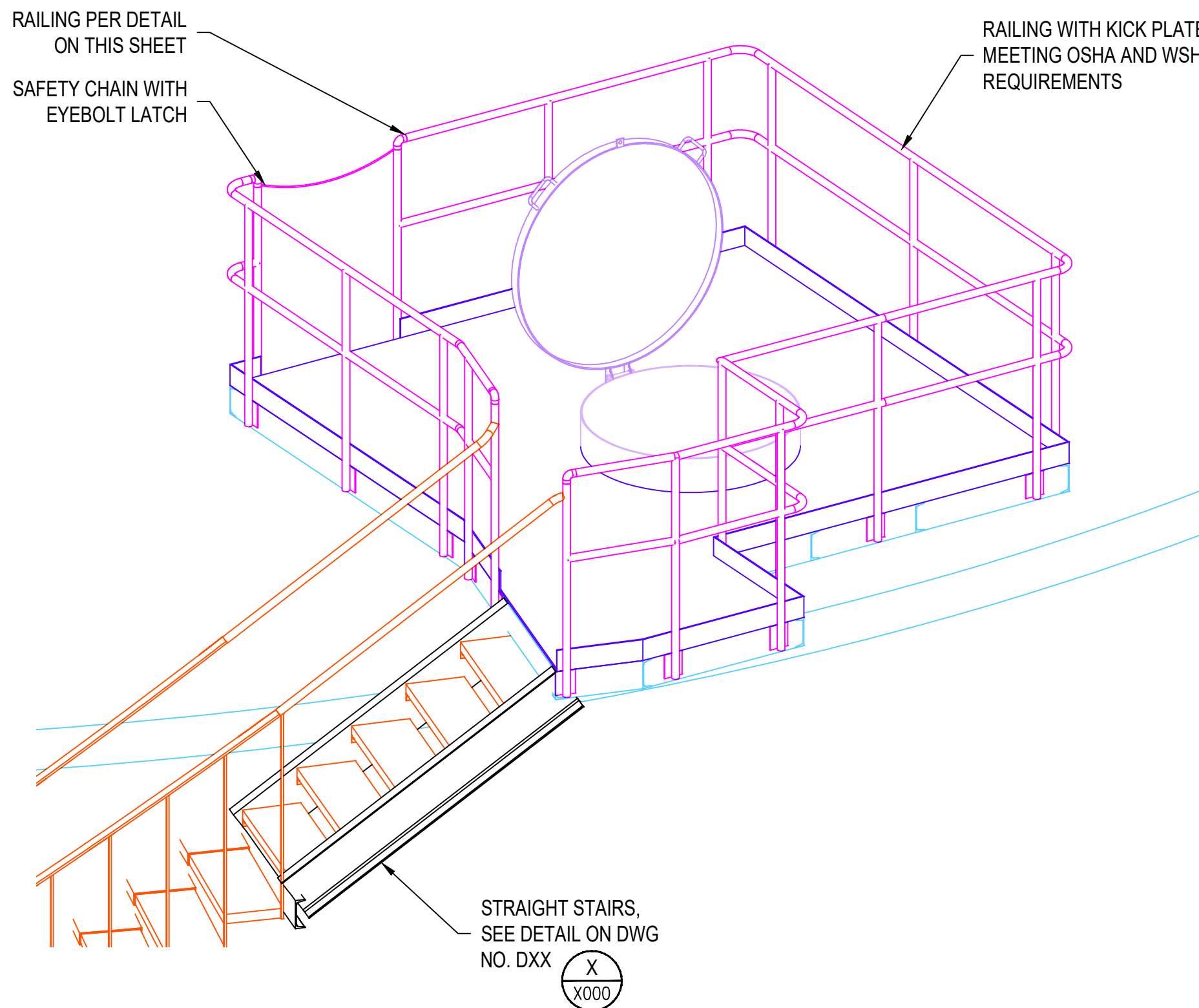


CITY OF STANWOOD
297 ZONE RESERVOIR DESIGN



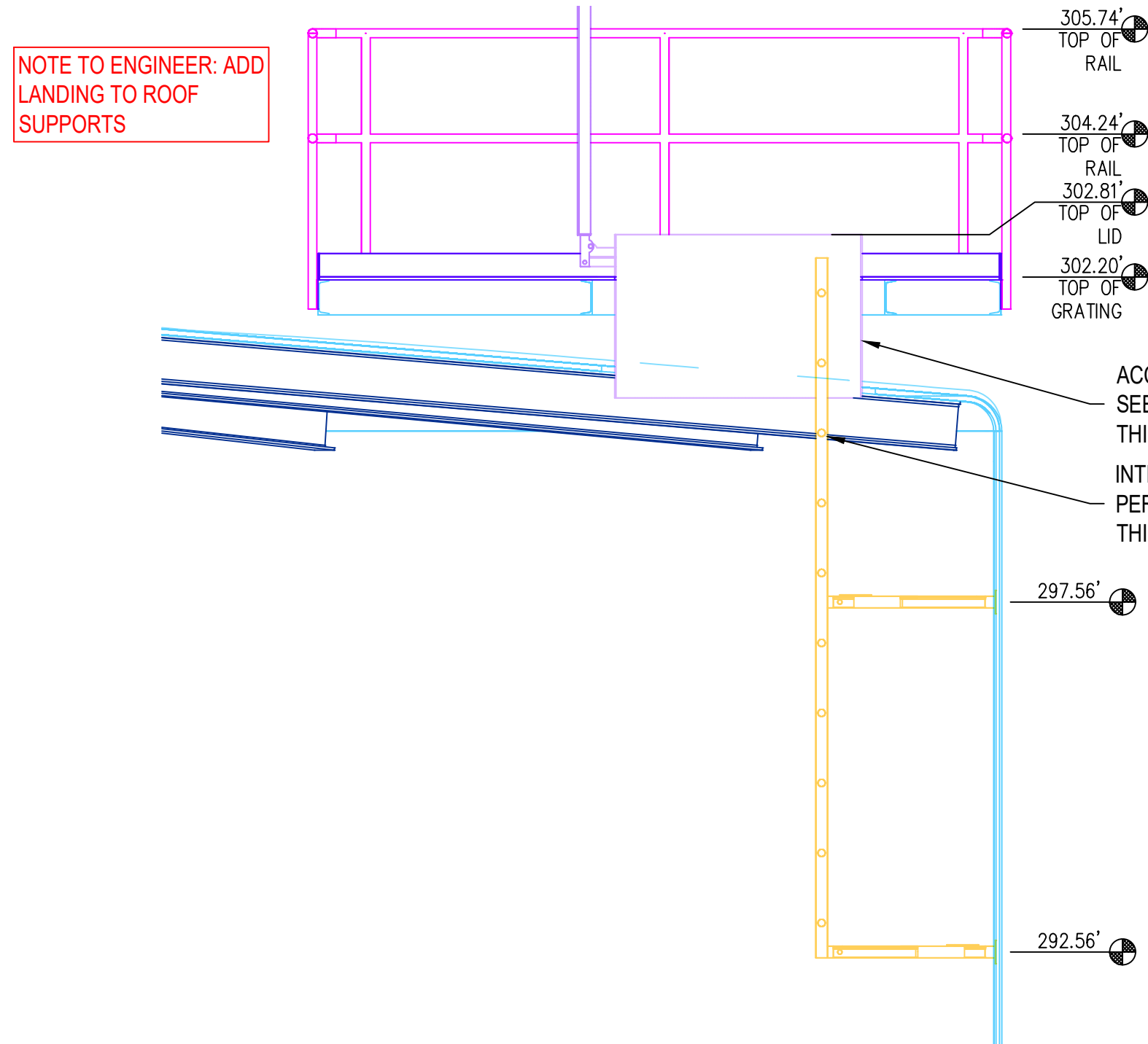
RESERVOIR ELEVATION AND DETAILS

REVISIONS		NO.	DATE	DESCRIPTION	BY	REVIEW
ENGINEER: OMP	DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152			
REVIEWED: JMC	PLOT DATE: Jan 31, 2019	FILENAME: CHR2-D-STRO3.DWG				



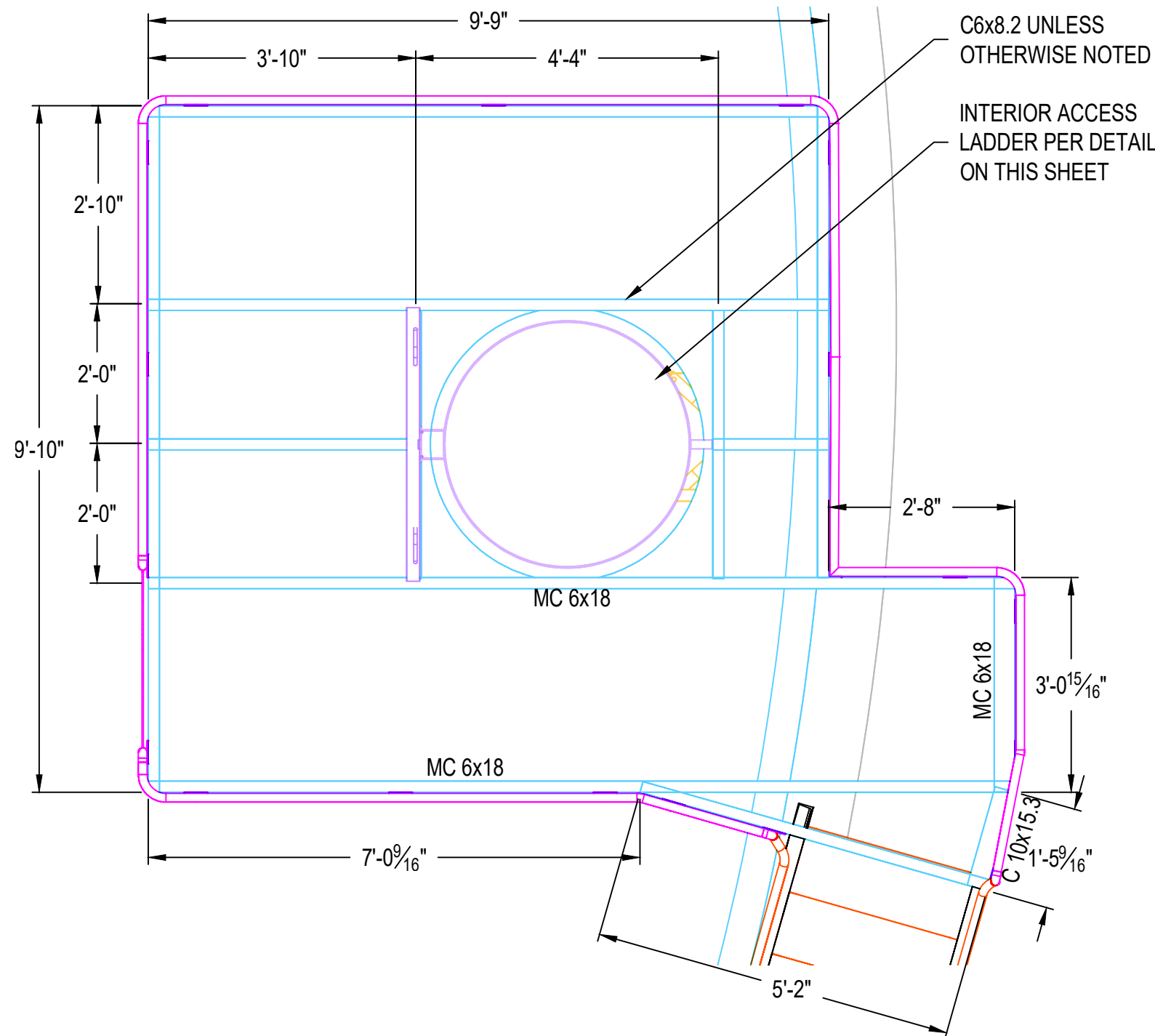
EXTERIOR ACCESS LANDING OBLIQUE

NOT TO SCALE, APPROX: 1/2" = 1'-0"



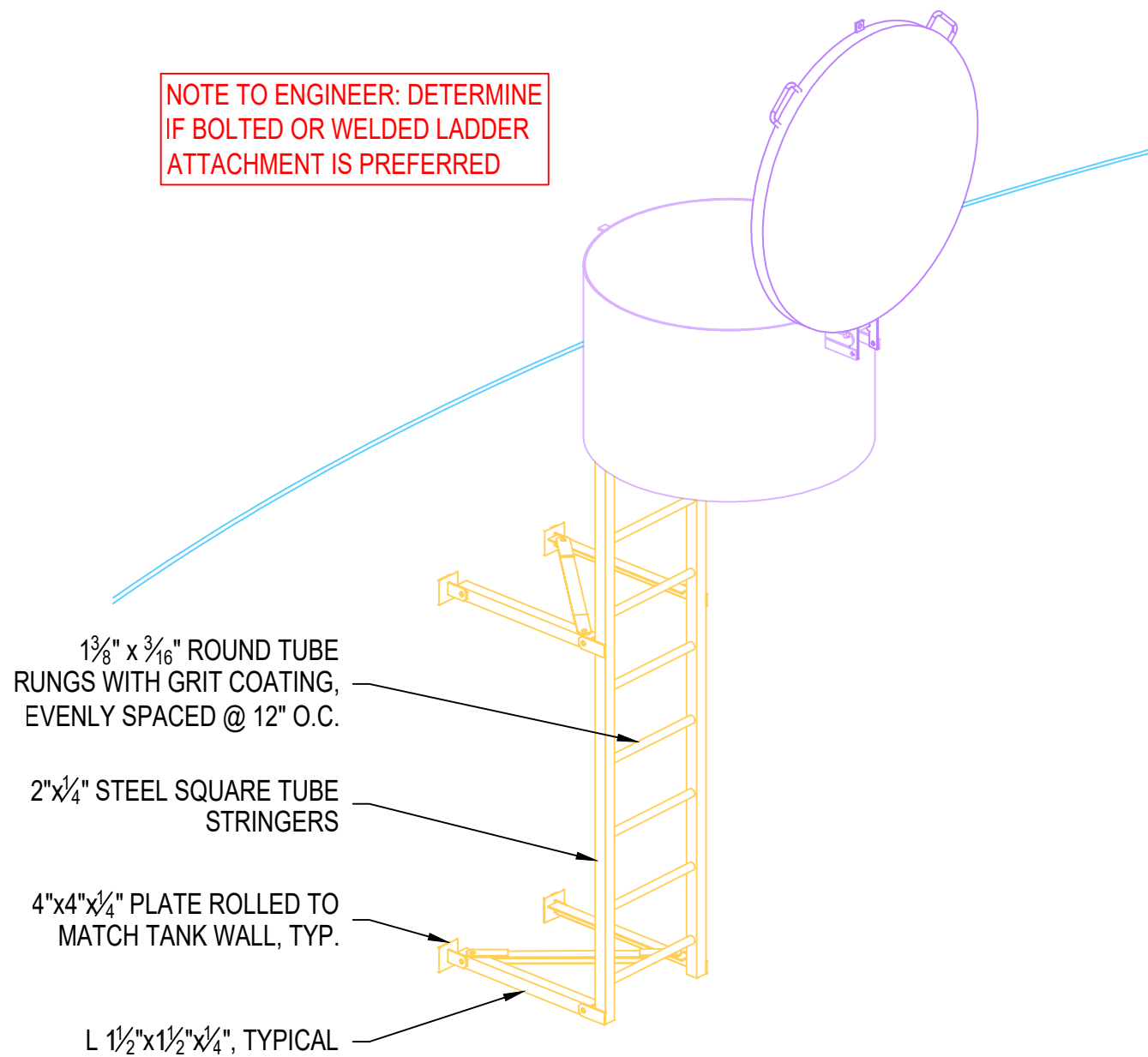
LANDING ELEVATION

1/2" = 1'-0"



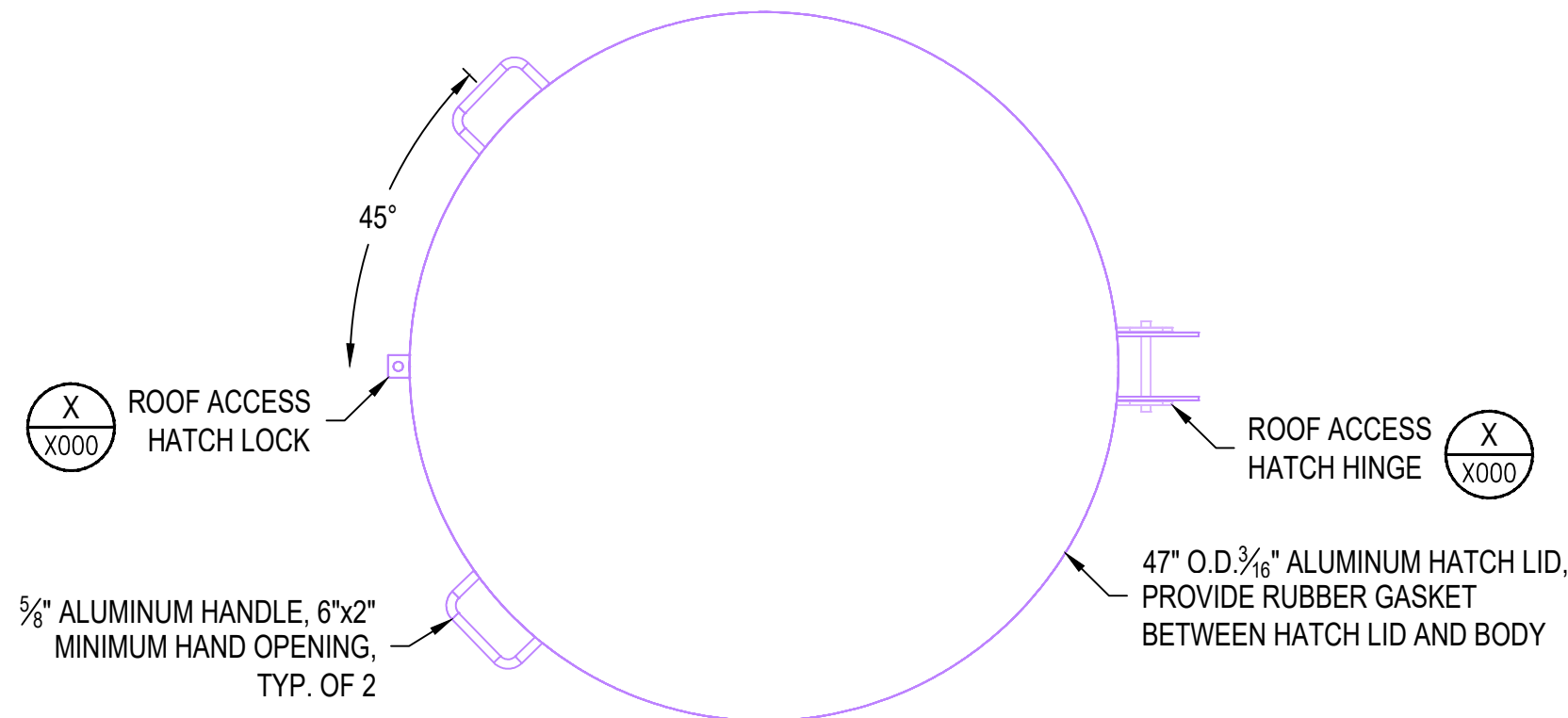
EXTERIOR ACCESS LANDING PLAN

1/2" = 1'-0"

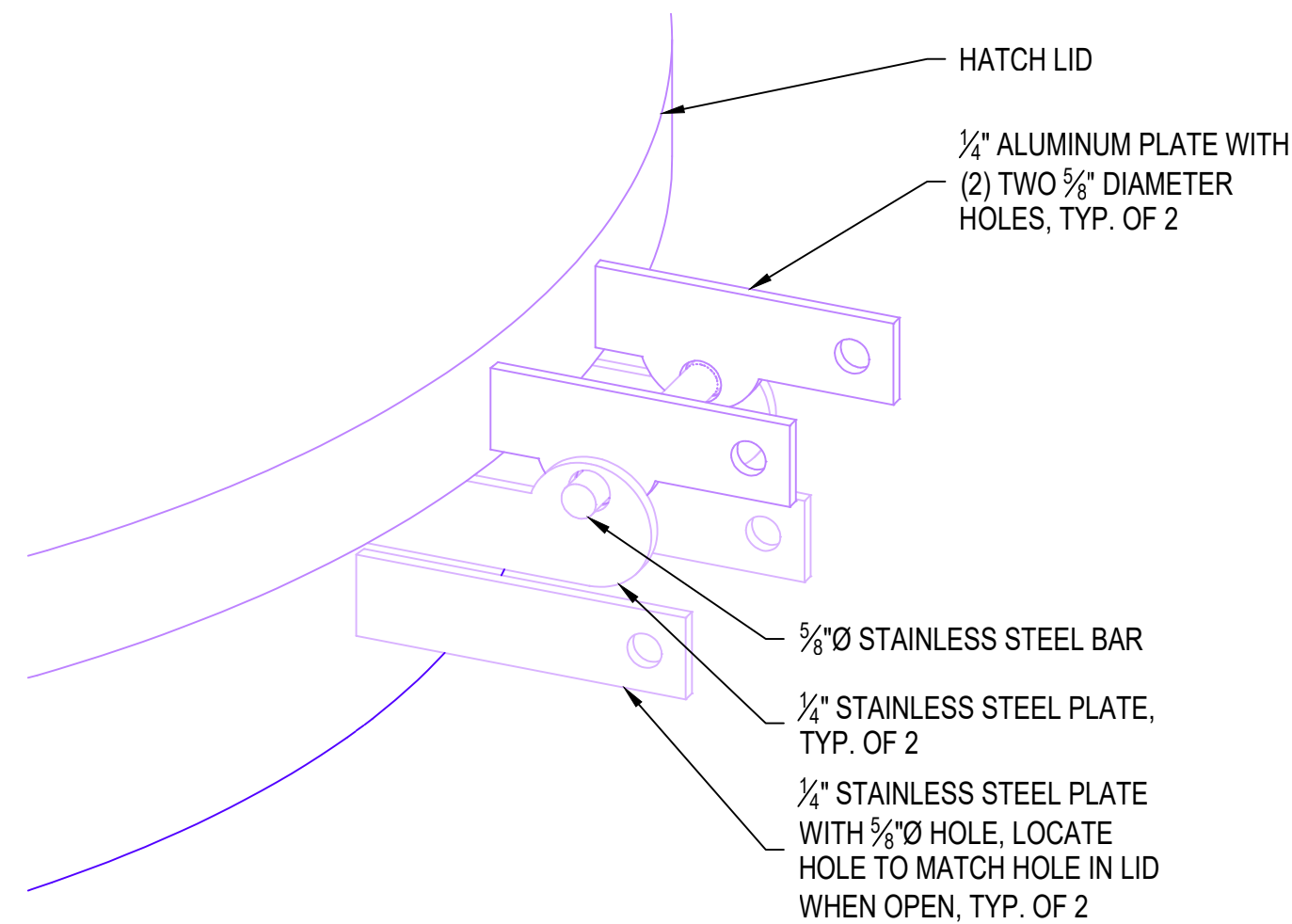


INTERIOR LADDER DETAIL

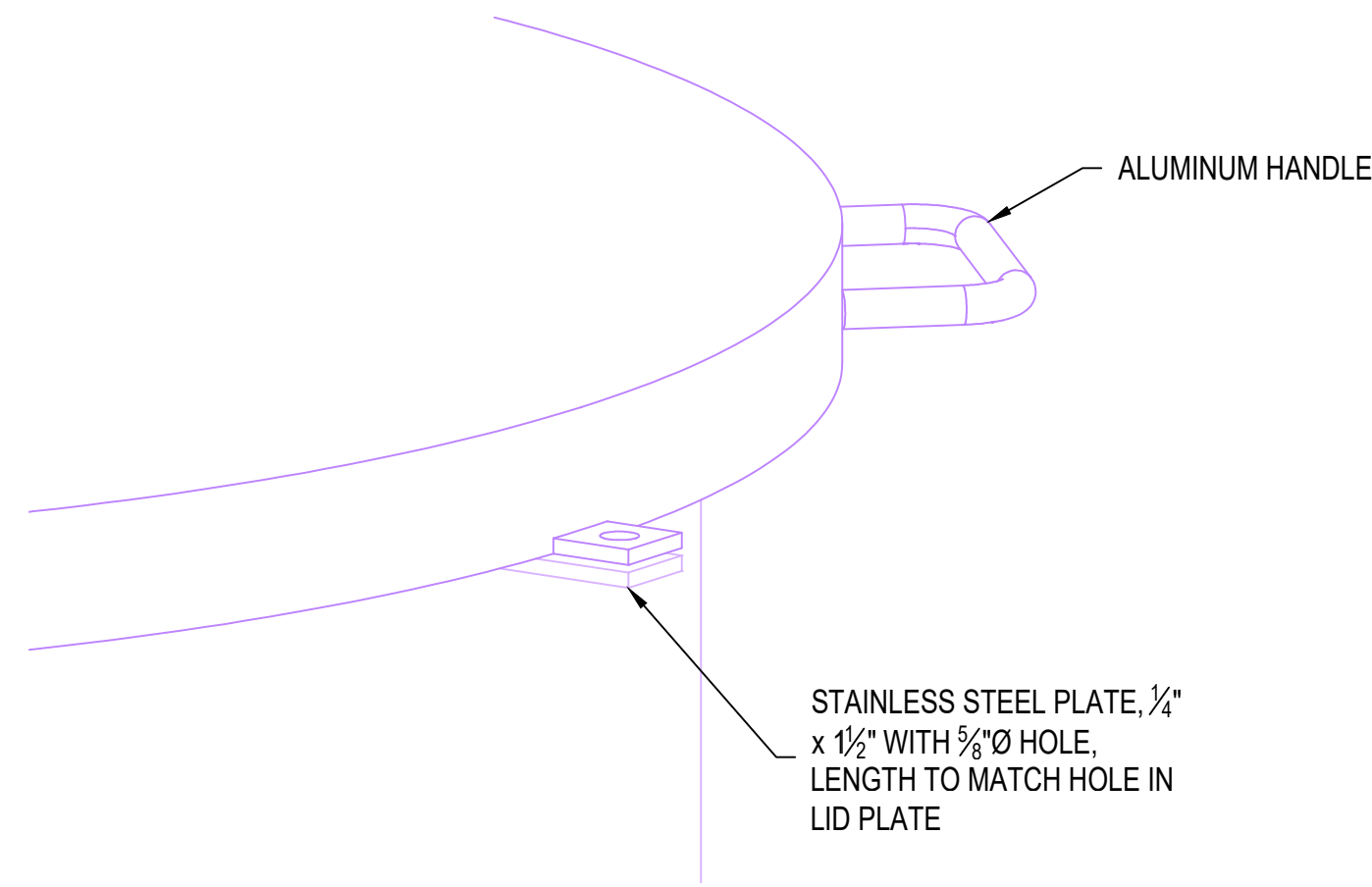
NOT TO SCALE, APPROX: 1/2" = 1'-0"



ACCESS HATCH PLAN VIEW



ACCESS HATCH HINGE OBLIQUE



ACCESS HATCH LOCK OBLIQUE

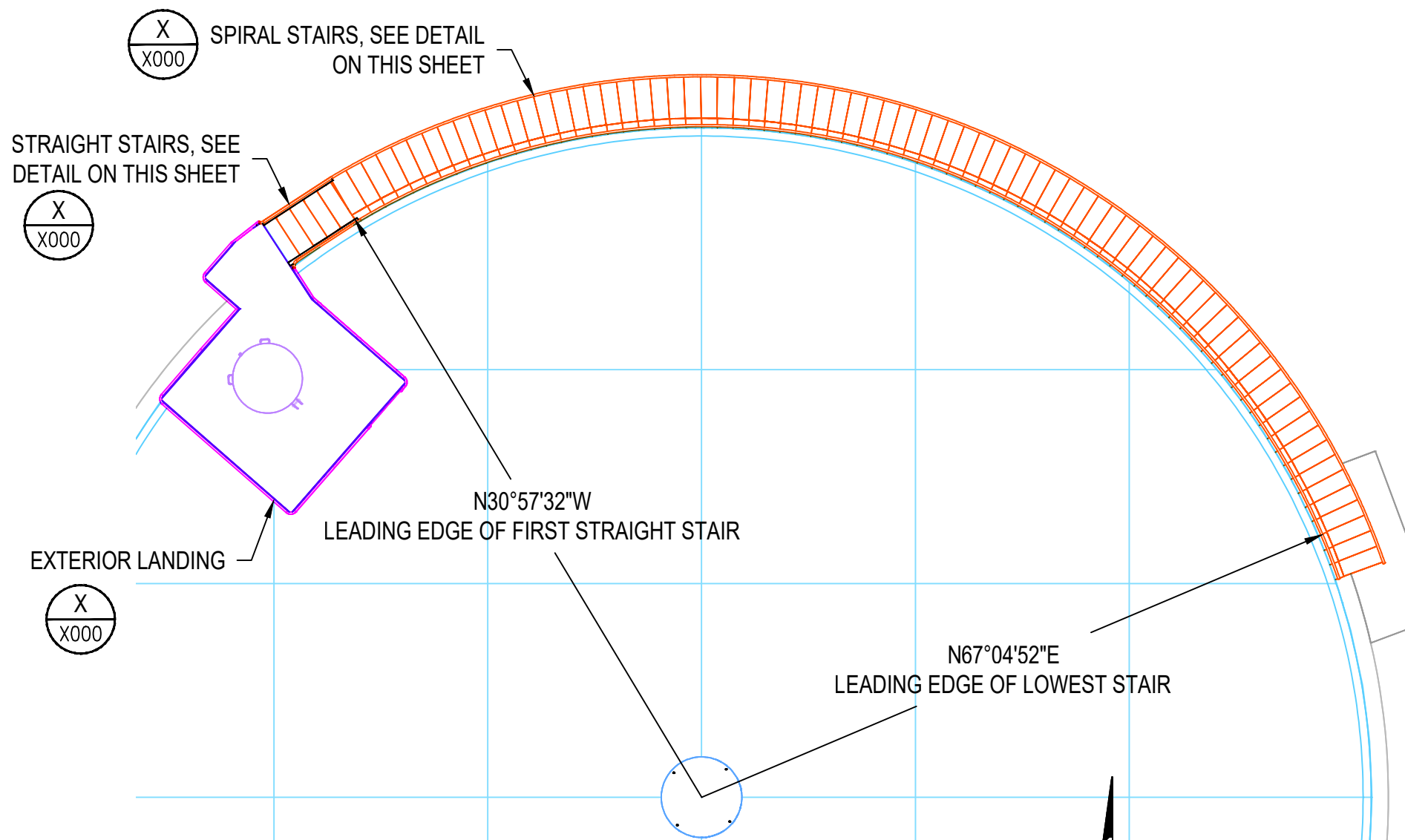
ROOF ACCESS HATCH DETAILS

NOT TO SCALE

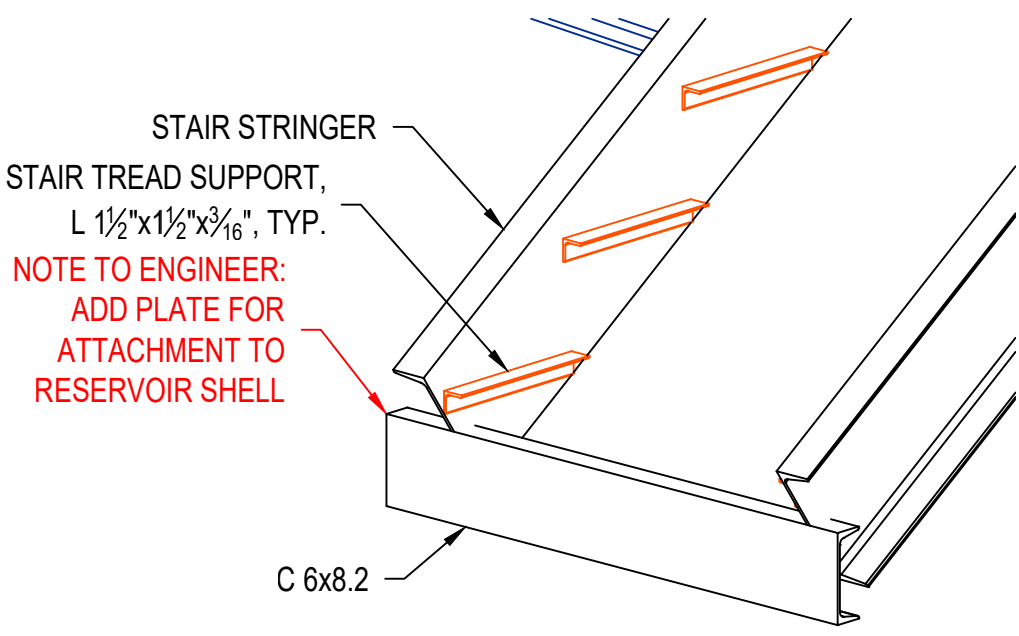
NOTE TO ENGINEER: ADD WELD SYMBOLS AT 90-PERCENT DESIGN SUBMITTAL

ENGINEER: OMP	DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152
REVIEWED: JMC	PLOT DATE: Jan 31, 2019	FILENAME: CHR2-D-STRO4.DWG	

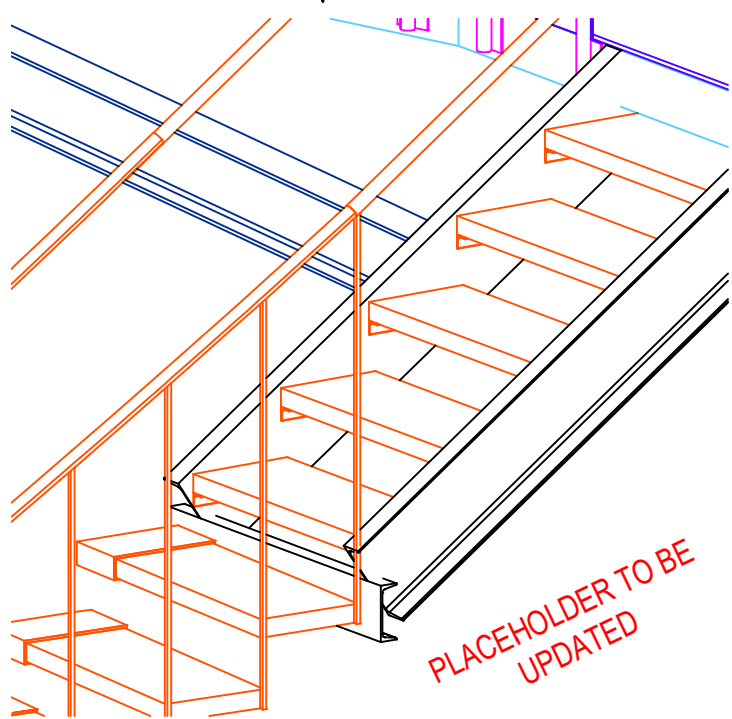
REVISIONS			
NO	DATE	DESCRIPTION	BY REVIEW



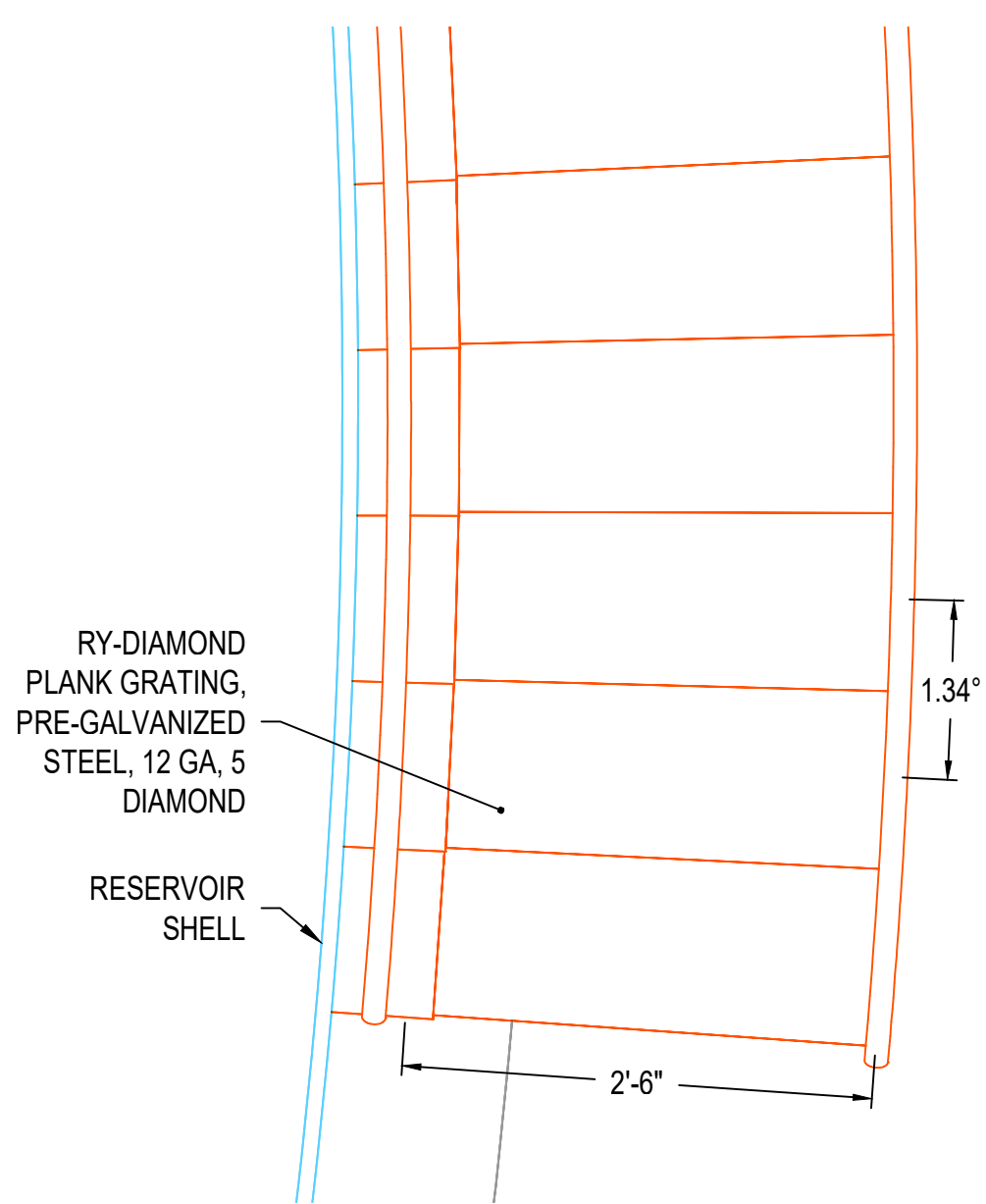
RESERVOIR ACCESS PLAN
3/8" = 1'-0"



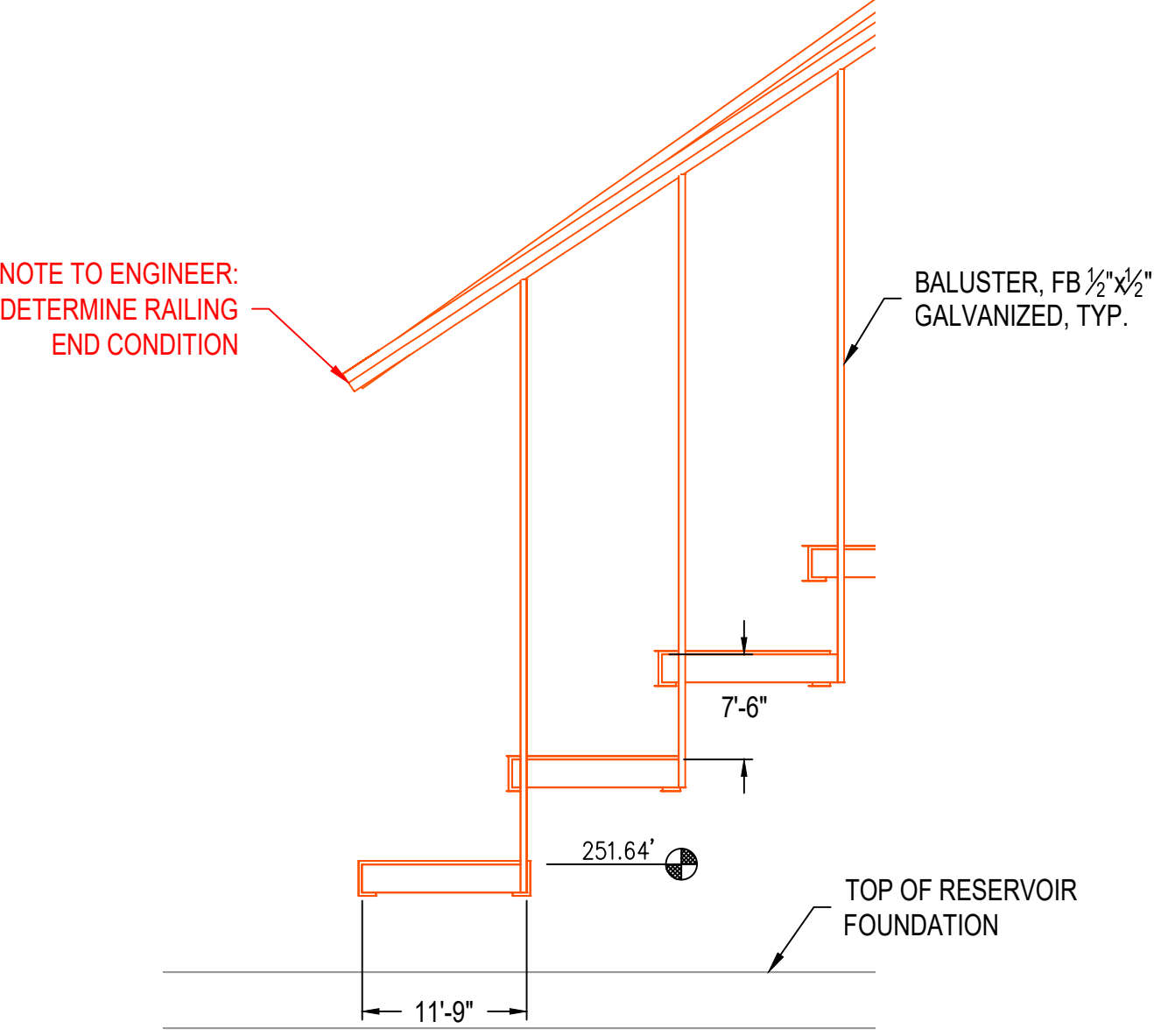
STRAIGHT STAIR SUPPORT OBLIQUE
NOT TO SCALE, APPROX: 1" = 1'-0"



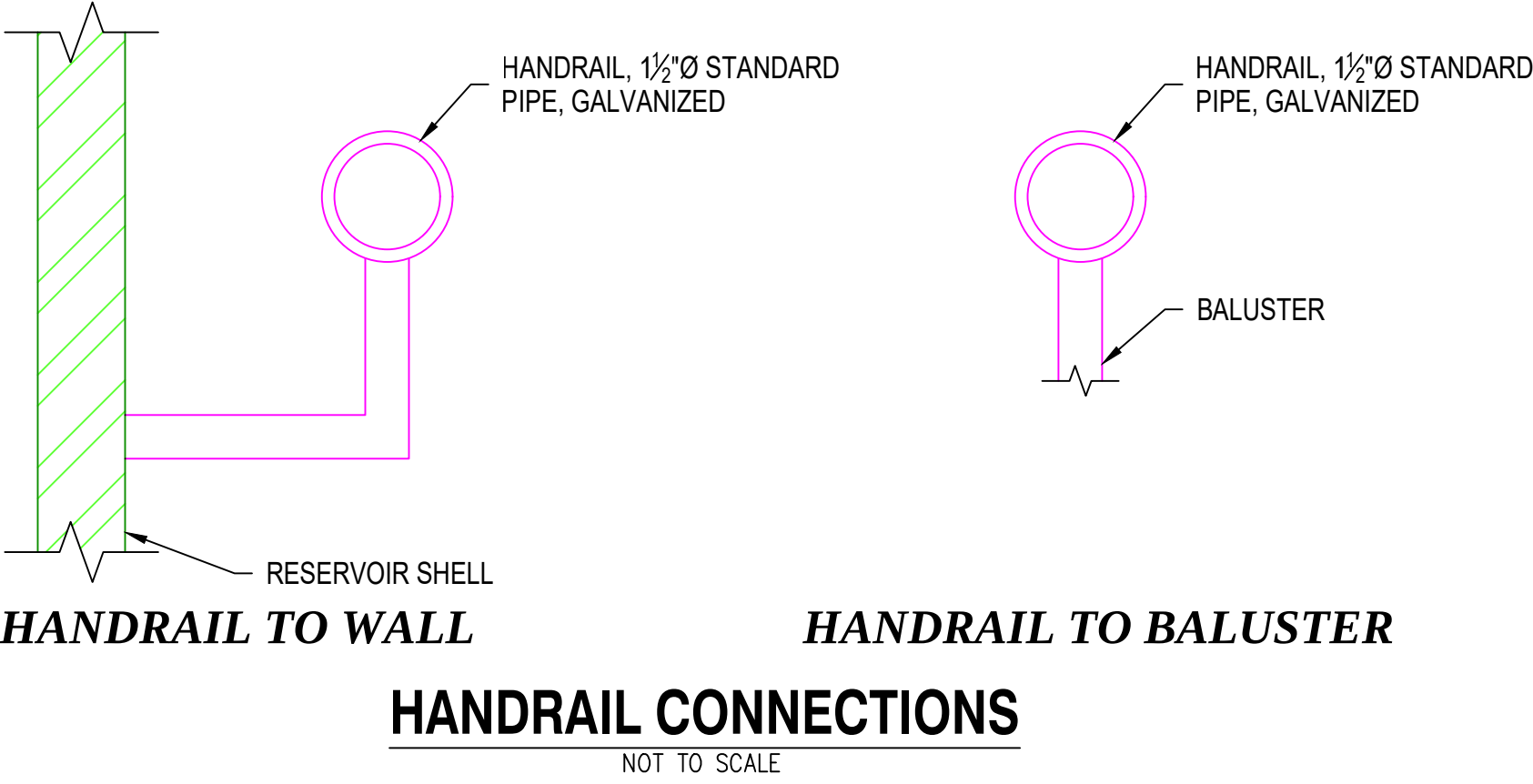
STRAIGHT STAIR OBLIQUE
NOT TO SCALE, APPROX: 1" = 1'-0" (X X000)



SPIRAL STAIR PLAN
NOT TO SCALE, APPROX: 1" = 1'-0"



SPIRAL STAIR ELEVATION
NOT TO SCALE, APPROX: 1" = 1'-0" (X X000)



HANDRAIL CONNECTIONS
NOT TO SCALE

NOTE TO ENGINEER: ITEMS TO BE ADDED AT 90-PERCENT SUBMITTAL:

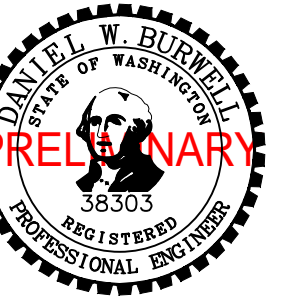
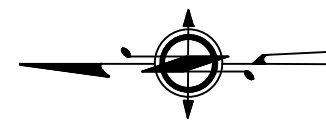
- WELDING SYMBOLS
- ACCESS PORT DETAILS
- STRAIGHT AND SPIRAL STAIR TREAD DETAILS
- ROOF VENT DETAILS

RH2
ENGINEERING
40 YEARS
SINCE 1978
BELLINGHAM, WA
4164 Meridian Street, Suite 302
www.rh2.com 1.800.720.8052

CITY OF STANWOOD 297 ZONE RESERVOIR DESIGN		STRUCTURAL DETAILS I	
ENGINEER: OMP	DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152
REVIEWED: JMC	PLOT DATE: Jan 31, 2019	FILENAME: CHR2-D-STRO5.DWG	
REVISIONS			
NO.	DATE	DESCRIPTION	BY
			REVIEW
SCALE: SHOWN			
0" 1" 2"			
DRAWING IS FULL SCALE WHEN BAR MEASURES 2"			
DWG NO.: S05	SHEET NO.: 18	23	

Plan view of a circular water storage tank. The diagram shows the tank's perimeter and internal components. Key features include:

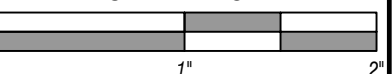
- TRUE NORTH**: Indicated by a dashed line pointing towards the top of the page.
- R34'-6" OVERFLOW, DRAIN, INLET AND OUTLET CENTERLINE**: A dashed line extending from the center of the tank towards the top right.
- S 45° 33' 04" E OVERFLOW PIPE CENTERLINE**: A dashed line extending from the center of the tank towards the top right.
- S 58° 10' 41" E DRAIN PIPE CENTERLINE**: A dashed line extending from the center of the tank towards the top right.
- N 31° 37' 58" W FILL PIPE CENTERLINE**: A dashed line extending from the center of the tank towards the bottom left.
- N 39° 53' 45" W DRAIN PIPE CENTERLINE**: A dashed line extending from the center of the tank towards the bottom left.
- CONTROL VALVE VAULT**: A rectangular structure located at the bottom left of the tank.
- INTERIOR ACCESS LADDER, REFER TO DWG NO. S02 FOR LOCATION**: A yellow diamond-shaped symbol located near the bottom left of the tank.
- 9.3°**: An angle measurement near the control valve vault.
- 10.0°**: An angle measurement near the top right of the tank.

$$\frac{3}{16}'' = 1'-0''$$


MECHANICAL PLAN

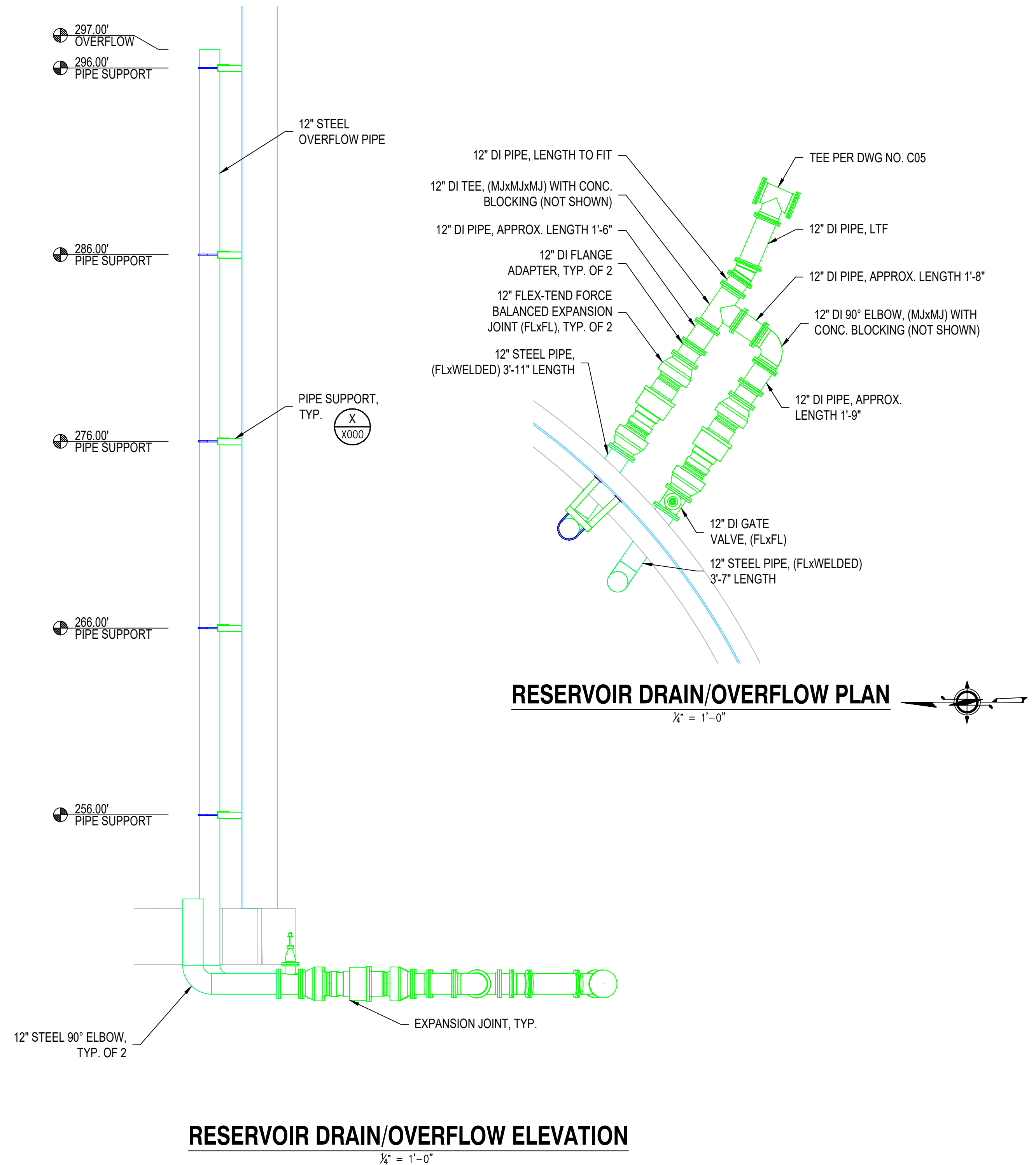
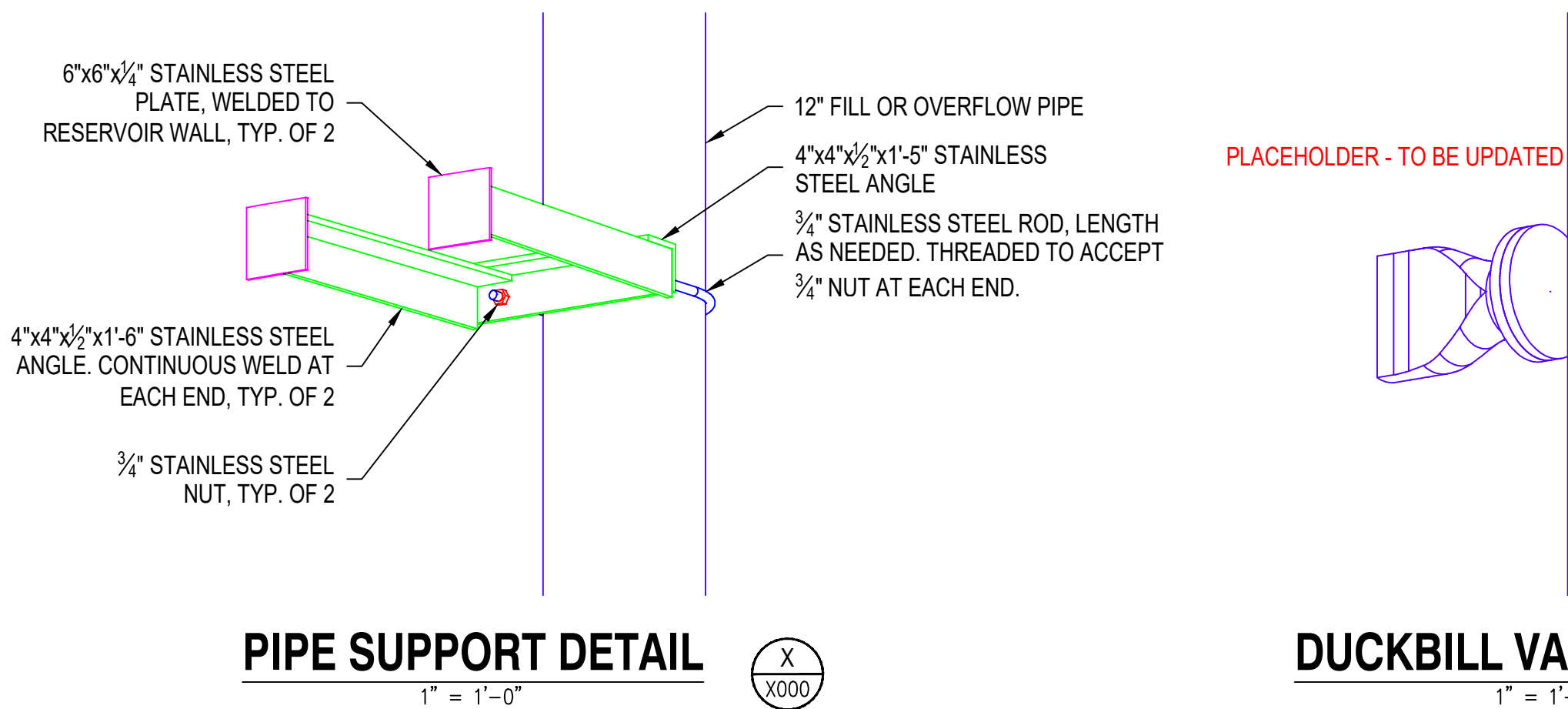
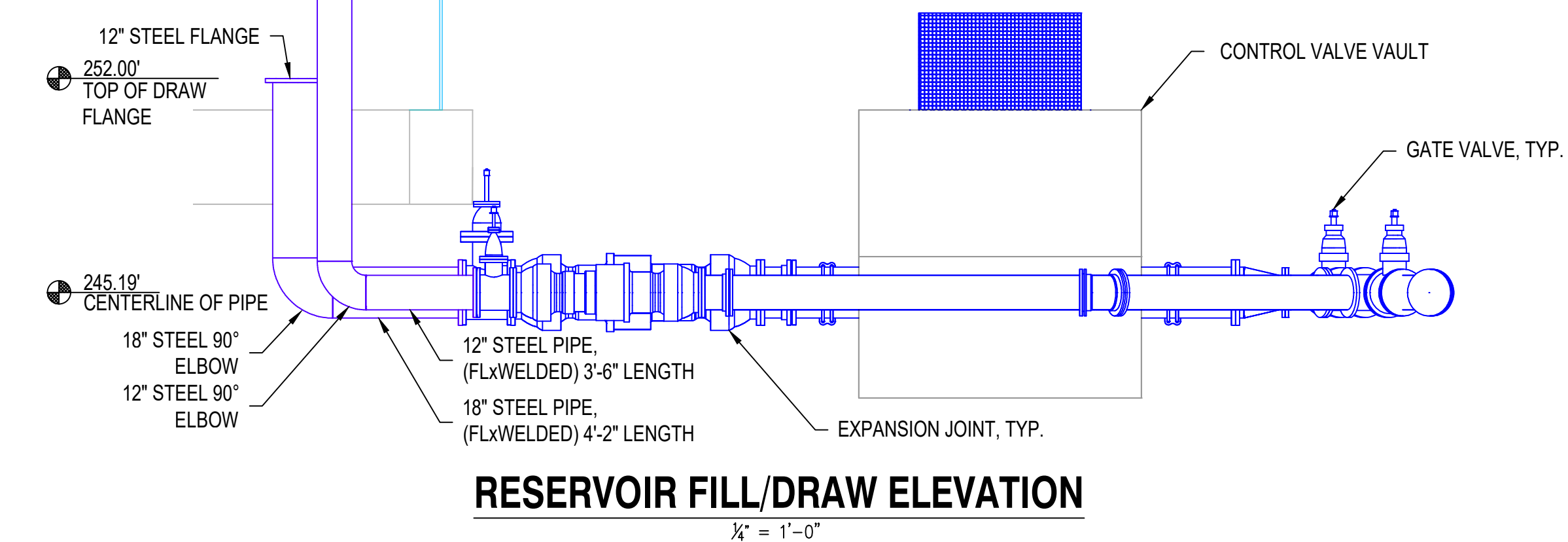
ENGINEER: UMP	SHEET DATE: Jan 31, 2019	CHECK: SJA	JOB NO.: 41B-152
REVIEWED: DWB	PLT DATE: Jan 31, 2019	FILENAME: CHR2D-MEC01.DWG	
REVISIONS			
NO.	DATE	DESCRIPTION	BY
			REVIEW

SCALE: SHOWN



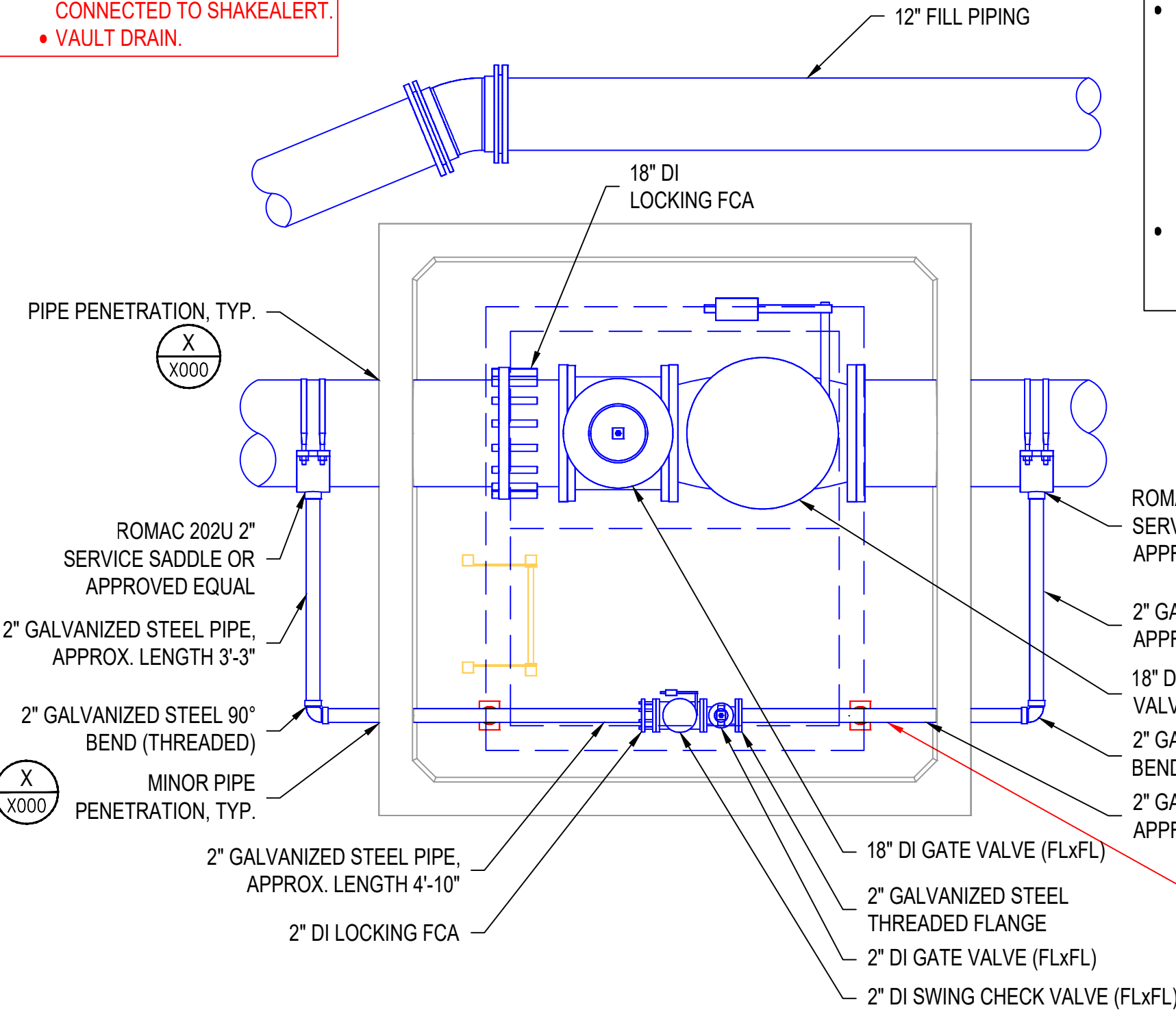
DRAWING IS FULL SCALE WHEN
BAR MEASURES 2"

WG NO.: M01
SHEET NO.: 20

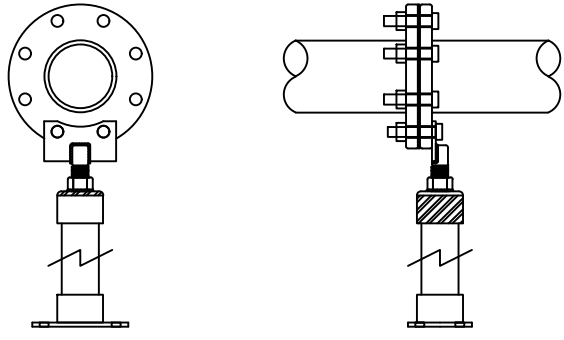
[illegible]

NOTE TO ENGINEER: ADD THE FOLLOWING AT 90-PERCENT SUBMITTAL:

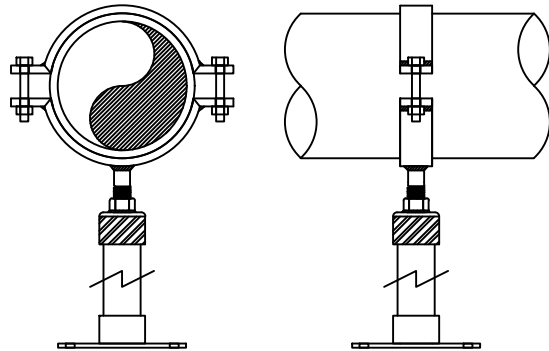
- SEISMIC CONTROL CONNECTED TO SHAKEALERT.
- VAULT DRAIN.



- NOTES:
- CONTRACTOR SHALL PROVIDE SUPPORTS AS NEEDED TO SECURE PIPING SYSTEM IN NORMAL AND TEST OPERATING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THE NECESSARY PIPE SUPPORTS, HANGERS AND SEISMIC BRACING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. SUBMIT DESIGN WITH PIPING PLAN.
 - SADDLE AND SADDLE CLAMP SUPPORTS SHALL BE "STANDON" BRAND AS MANUFACTURED BY MATERIAL RESOURCES OR EQUAL.



TYPE A - FLANGE SUPPORT



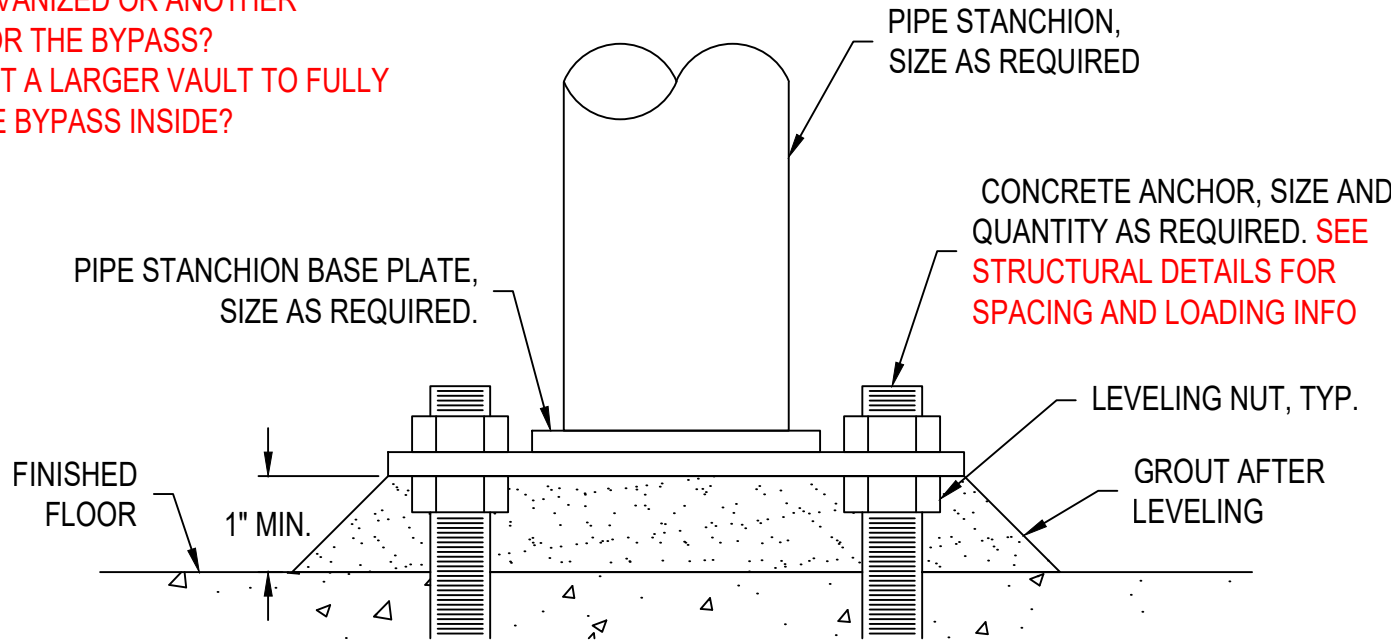
TYPE C - SADDLE CLAMP SUPPORT

(TYP. AT PIPING)

(TYP. AT VALVES, METERS, AND FITTINGS)

PIPE SUPPORT DETAIL

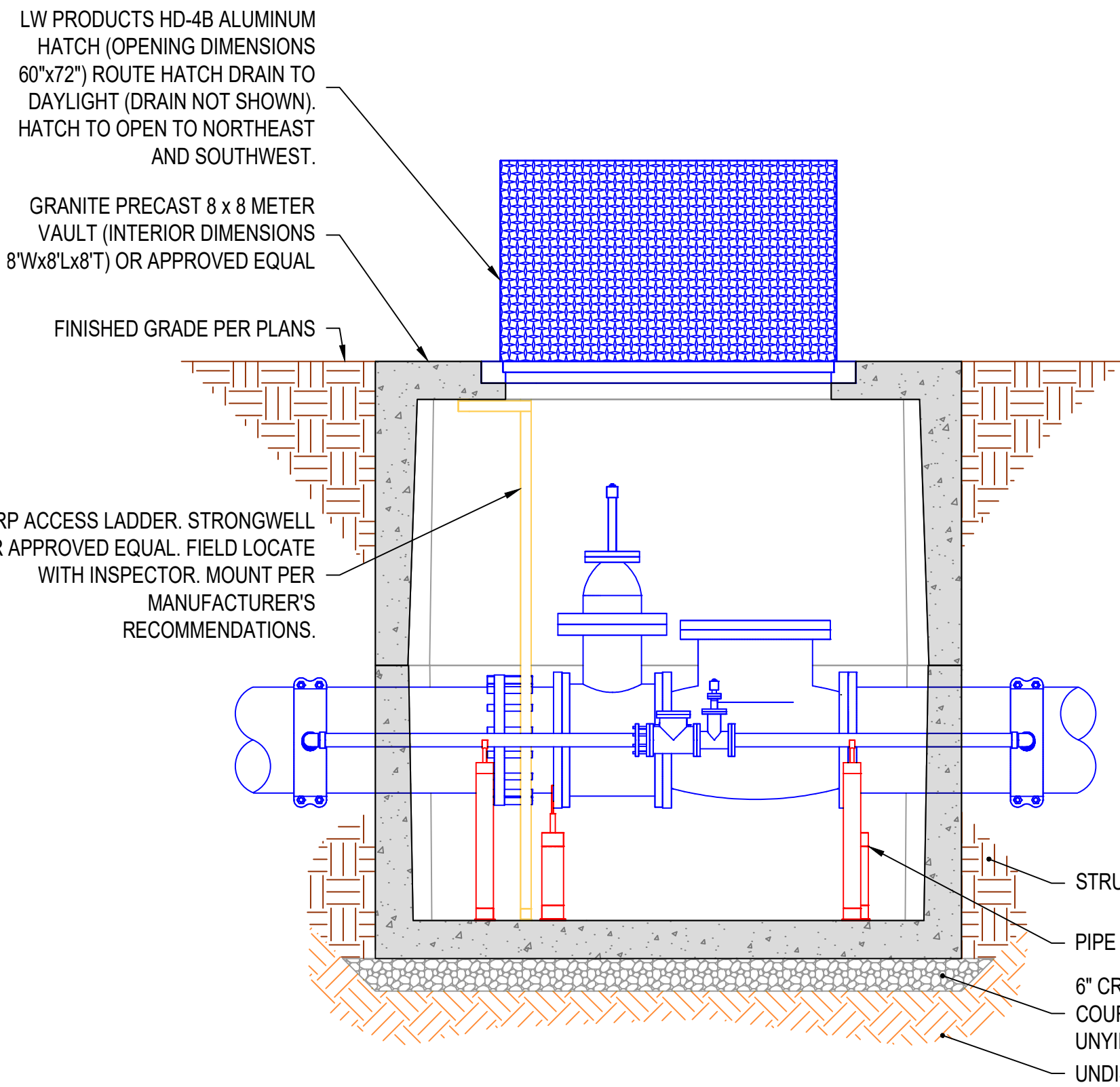
NOT TO SCALE



PIPE STANCHION DETAIL

NOT TO SCALE

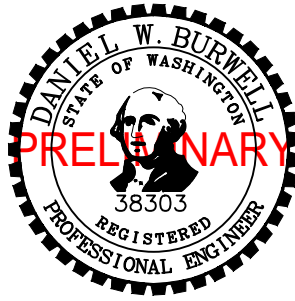
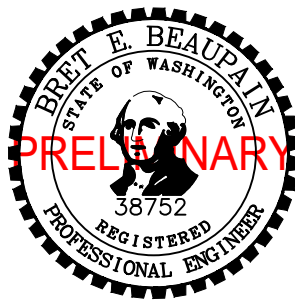
(X X000)



CONTROL VALVE VAULT ELEVATION

1/2" = 1'-0"

(X X000)



ENGINEER	OMP	DATE	NO.	DATE	DESCRIPTION	BY	REVIEW
REVISIONS							

SCALE: SHOWN

0" 1" 2"

DRAWING IS FULL SCALE WHEN BAR MEASURES 2"



MEMORANDUM

City of Stanwood
10220 270th St NW
Stanwood, WA 98292
360-629-2181

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNING COMMISSION

FROM: Amy Rusko, Senior Planner

SUBJECT: Public Meeting – Pioneer Hwy & 72nd Ave Interceptor Sewer Line

DATE: April 22, 2019

ATTACHMENT: A. Vicinity Map
B. Site Plan

Request:

The City of Stanwood Public Works Department is requesting major site development approval for the installation of approximately 1,680 linear feet of 18" sewer line, replacing the existing 8" sewer line. It is expected that approximately 700 cubic yards of excavating, filling and grading will take place with the project. The project takes place within the existing asphalt of both Pioneer Highway and 72nd Avenue NW. The project limits include approximately 600 linear feet north along 72nd Avenue NW and approximately 1,200 linear feet northwest along Pioneer Highway from the Pioneer Highway and 72nd Avenue Intersection.

Procedural Information:

The project as proposed is considered a Major Site Development and will be processed as a Type II permit application. The process requires public notice in the newspaper, posting the site, and mailing to property owners within 300-feet. Proper notification has occurred. The Community Development Director will render a decision on this project once all code requirements have been met.

Stanwood Municipal Code 17.80.033 states the community development department shall apprise the planning commission of the general intent of a project of this type and collect comments from the commission members. These comments will be considered by the Community Development Director prior to issuing a decision.

Project Details:

The property is designated as public right-of-way. The neighboring properties are zoned Single Family Residential 5.0 (SR 5.0) and Multi-Family Residential (MR) on the Zoning Map and Medium Density Residential (MDR) and High Density Residential (HDR) on the Future Land Use Map. The project is located within public right-of-way at the Pioneer Highway and 72nd Avenue Interceptor in the southeast section of the city.

The application was submitted on February 25, 2019 and deemed to be complete. The Notice of Application and SEPA DNS Notice was published in the newspaper, posted at the required sites and mailed on March 5, 2019. The Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on March 12, 2019. The Notice of Application comment period ended on March 20, 2019. An additional Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on April 16, 2019.

Public Comments:

To date the project has received four public or agency comments.

1. To extend the Notice of Application and SEPA DNS comment period to March 22, 2019 for agency review. This request was granted.
2. The Swinomish Tribe requested additional information. The additional information was sent via email.
3. The Stillaguamish Tribes requested notification for tribal monitors during ground disturbance. This request will be added to the permit.
4. A neighboring property owner requested a pdf of the plan set. The pdf was sent to the citizen via email.





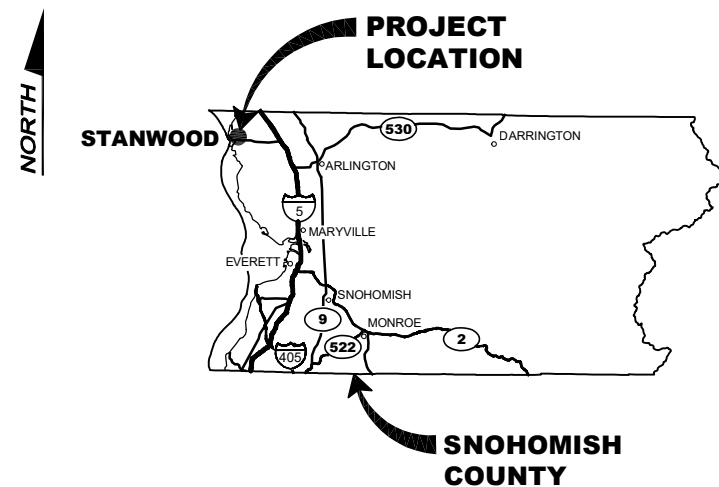
**Preliminary
50% Review Set**
Not For Construction
12-2018

CITY OF STANWOOD PIONEER HIGHWAY UPGRADES PHASE 1 - 72ND AVENUE INTERCEPTOR

DECEMBER 2018

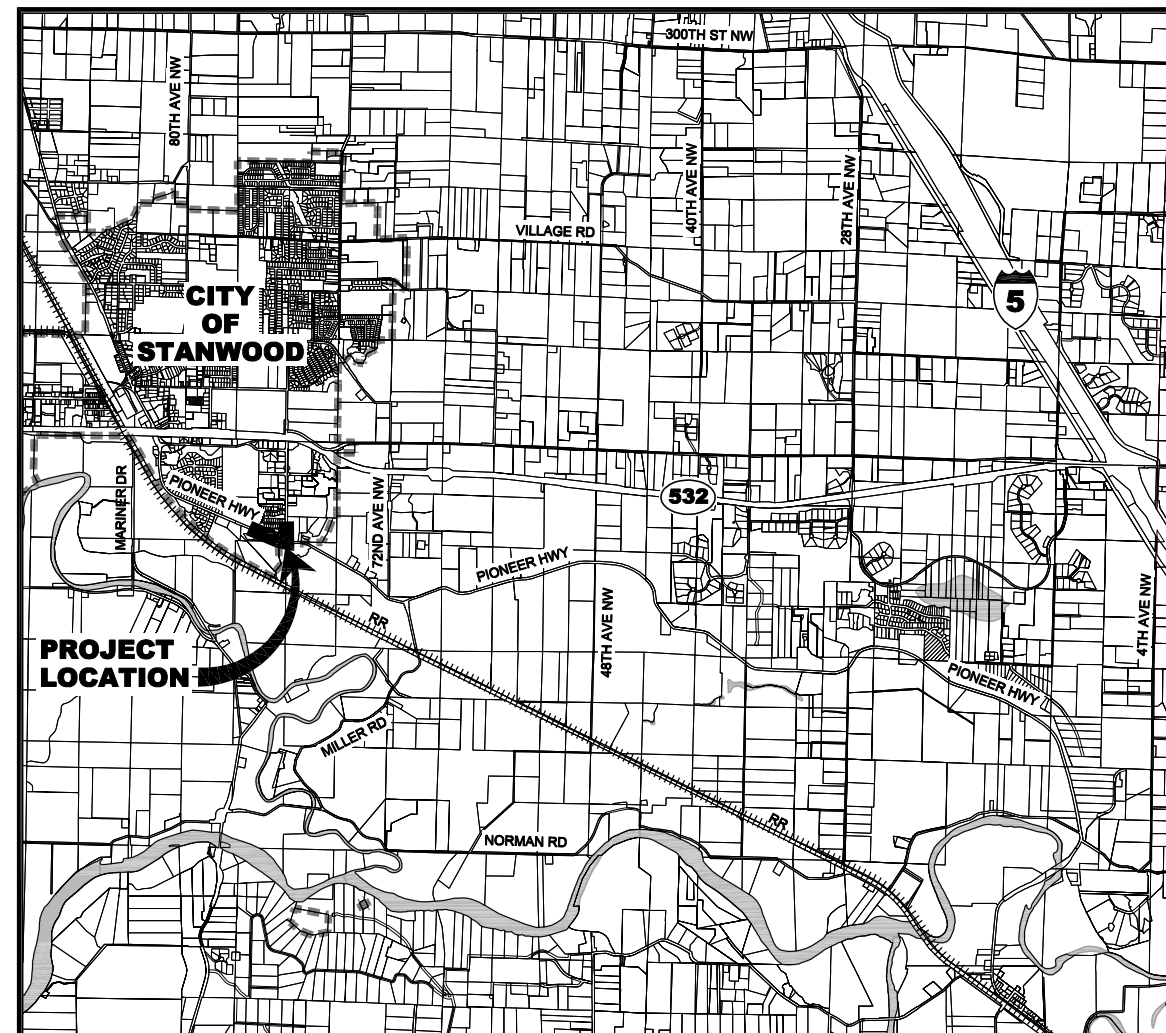
LOCATION MAPS

NTS



VICINITY MAP

NTS



MAYOR

LEONARD KELLEY

CITY COUNCIL

ROB JOHNSON
DIANNE WHITE
ELIZABETH CALLAGAN
TIMOTHY PIERCE
LARRY SATHER
KELLY MCGILL
JUDY WILLIAMS

PUBLIC WORKS DIRECTOR

KEVIN HUSHAGEN

CITY ENGINEER/ASSISTANT PUBLIC WORKS DIRECTOR

SHAWN SMITH

PREPARED BY



BHC Consultants, LLC
1601 Fifth Avenue, Suite 500
Seattle, Washington 98101
206.505.3400
206.505.3406 (fax)
www.bhcconsultants.com

IN ASSOCIATION WITH

1 ALLIANCE GEOMATICS, LLC - SURVEYING & MAPPING
ASPECT CONSULTING, LLC - GEOTECHNICAL

G-1
1 of XX

Path: S:\Cad\Stanwood\Pioneer Highway\18-10515 Design\ Filename: P18-10515_G-2 Plot date: Dec 13, 2018-01:45:47pm CAD User: psimon.
Xref Filename: | X18-10515_TB | X18-10515_Prelim | Gray |

INDEX OF DRAWINGS				
SHEET NO.	DWG NO.	DRAWING TITLE		
<u>GENERAL</u>				
X	G-1	COVER AND VICINITY MAP		
X	G-2	INDEX OF DRAWINGS AND GENERAL NOTES		
X	G-3	LEGEND, ABBREVIATIONS, SYMBOLS AND DESIGNATIONS		
X	G-4	OVERALL KEY MAP AND SURVEY NOTES		
<u>EROSION CONTROL</u>				
X	EC-1	EROSION CONTROL DETAILS AND NOTES		
<u>CIVIL</u>				
X	C-1	PLAN AND PROFILE STA 0+00 TO STA 55+50		
X	C-2	PLAN AND PROFILE STA 55+50 TO STA 61+00		
X	C-3	PLAN AND PROFILE STA 100+00 TO STA 105+00		
X	C-4	DETAILS		
<u>RESTORATION</u>				
X	R-1	PLAN, NOTES, AND DETAILS		

GENERAL NOTES:

1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF STANWOOD. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.

2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A “PUNCH LIST” PREPARED BY THE CITY’S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WORK.

3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT MANUAL, THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE “STANDARD SPECIFICATIONS”), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF STANWOOD CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE “CITY STANDARDS”).

4. A COPY OF THESE APPROVED PLANS AND THE PROJECT’S SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.

5. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.

6. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.

7. ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE CONTRACTOR’S EXPENSE.

8. THE LOCATION OF KNOWN EXISTING UTILITIES ARE SHOWN APPROXIMATE; TAKEN FROM UTILITY LOCATE MARKINGS AND/OR AVAILABLE RECORD INFORMATION AT THE TIME OF DESIGN. EXACT LOCATION AND DEPTH OF UTILITIES ARE UNKNOWN AND SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD BY POTHOLING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DUE TO FAILURE TO LOCATE AND PRESERVE EXISTING UTILITIES.

9. THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.

10. ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.

11. DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.

12. CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.

13. PRIOR TO ANY SIGN OR STRIPING INSTALLATION OR REMOVAL THE CONTRACTOR SHALL CONTACT THE CITY SIGN SPECIALIST (253) 841-5471 TO ARRANGE FOR AN ON-SITE MEETING TO DISCUSS PLACEMENT AND UNIFORMITY.

14. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL OF THE ENGINEER.

15. ALL EXCAVATIONS ADJACENT TO POWER POLES OR OTHER RELATED FACILITIES (VAULTS, HANDHOLES, ETC.) SHALL COMPLY WITH WAC 296-155, PART N, EXCAVATION, TRENCHING AND SHORING. POLE PROTECTION/SUPPORTING SYSTEMS USED WHILE EXCAVATING SHALL COMPLY WITH WAC 155-655 GENERAL PROTECTION REQUIREMENTS, ITEM (9) AND SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF POLES WHILE THE SYSTEMS ARE IN PLACE OR AFTER THE SYSTEMS HAVE BEEN REMOVED. WHERE CONSTRUCTION ACTIVITIES ARE IN CLOSE PROXIMITY TO POWER POLES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE POWER UTILITY AT LEAST 48 HOURS IN ADVANCE.

16. A PROJECT GEOTECHNICAL REPORT IS AVAILABLE FOR CONTRACTOR REFERENCE IN APPENDIX 1 OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SHORING AND DEWATERING RECOMMENDATIONS IN THE REPORT.

17. THE CONTRACTOR IS RESPONSIBLE FOR FULL RESTORATION OF ALL EXISTING FEATURES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE INDICATED BY THE ENGINEER.

18. CONTRACTOR IS REQUIRED TO PROVIDE A COMPETENT PERSON(S) TRAINED TO IDENTIFY EXISTING OR PREDICTING HAZARDS RELATED TO TRENCH SAFETY, SOIL CONDITIONS, AND SHORING REQUIREMENTS, IN ACCORDANCE WITH WAC 296-155 PART N. REPRESENTATIVES OF THE CITY SHALL NOT BE REQUIRED TO PERFORM THE ROLE OF COMPETENT PERSON FOR THE PROJECT. NO WORKERS SHALL ENTER A TRENCH OR OTHER EXCAVATION FOUR (4) FEET OR MORE IN DEPTH WITHOUT TRENCH SAFETY IN PLACE.

19. ADJUST EXISTING UTILITY COVERS TO FINISHED GRADE AFTER FINAL PAVING PER SPECIAL PROVISIONS SECTION 2-02.3(5).

20. CONTRACTOR SHALL NOT RESTRICT ACCESS TO EXISTING PARKING AREAS AND TRUCK OR TRACTOR TRAILER DELIVERY AREAS. CONTRACTOR SHALL COORDINATE ALL ACTIVITIES THAT REQUIRE TEMPORARY CLOSURE OF THE SOUTH HILL MALL PERIMETER/RING ROAD WITH THE MALL PROPERTY MANAGER PRIOR TO THESE ACTIVITIES BEING NECESSARY. SEE SPECIAL PROVISIONS SECTION 1-07.23 FOR ADDITIONAL REQUIREMENTS.

Path: S:\Cad\Stanwood\Pioneer Highway\18-10515 Design\ P18-10515_G-3 Plot date: Dec 13, 2018-01:46:44pm CAD User: psimon.
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LEGEND:

EXISTING		PROPOSED	
-----	RIGHT OF WAY	-----	TEMPORARY CONSTRUCTION EASEMENT
-----	CENTERLINE	-----	PERMANENT CONSTRUCTION EASEMENT
-----	PROPERTY LINE	-----	CLEARING LIMIT/WORK ZONE DELINEATION FENCE
-----	EASEMENT	-----	FILTER FABRIC FENCE
-----P-----	PAINTED POWER	-----	WETLAND BUFFER BOUNDARY
-----T-----	PAINTED TELEPHONE	-----	WATER MAIN
-----TV-----	PAINTED TV	-----	CENTERLINE STATIONING
-----W-----	PAINTED WATER	-----	TO BE REMOVED OR ABANDONED
-----G-----	PAINTED GAS	-----	
-----SD-----	STORM	-----	
-----S-----	SEWER	-----	
-----SS-----	SIDE SEWER	-----	
-----OP-----	OVERHEAD POWER	-----	
-----x-----x-----x-----	FENCE	-----	
-----	HEDGE (HEIGHT NOTED)	-----	
-----	BUILDING	-----	
-----	PAINTED STRIPE	-----	
-----	EDGE OF PAVEMENT	-----	
-----	CONCRETE	-----	
-----	GRAVEL	-----	
-----	ROCKERY	-----	
-----	ASPHALT/CONCRETE	-----	
-----	CHAINLINK	-----	
-----	DRIVEWAY	-----	
-----	COLUMN	-----	
-----	YARD DRAIN	-----	
-----	STRUCTURE	-----	
-----	FINISHED FLOOR	-----	
-----	MONUMENT IN CASE	-----	
-----	PK NAIL	-----	
-----	REBAR & CAP	-----	
-----	SPOT SHOT (DESCRIBED)	-----	
-----	CATCH BASIN	-----	
-----	STORM DRAIN MANHOLE	-----	
-----	YARD DRAIN	-----	
-----	CULVERT	-----	
-----	SEWER MANHOLE	-----	
-----	POWER POLE	-----	
-----	POWER POLE WITH UNDERGROUND CONNECT	-----	
-----	GUY POLE	-----	
-----	GUY ANCHOR	-----	
-----	TELEPHONE RISER	-----	
-----	TELEPHONE VAULT LID	-----	
-----	TV RISER	-----	
-----	GAS VALVE	-----	
-----	GAS METER	-----	
-----	WATER VALVE	-----	
-----	WATER METER	-----	
-----	FIRE HYDRANT	-----	
-----	POST INDICATOR VALVE	-----	
-----	IRRIGATION CONTROL VALVE	-----	
-----	SIGN	-----	
-----	MAILBOX (# OF BOXES)	-----	
-----	SHRUB	-----	
-----	STUMP, DIAMETER	-----	
-----	DECIDUOUS TREE, DIAMETER (# OF TRUNKS)	-----	
-----	CONIFEROUS TREE, DIAMETER (# OF TRUNKS)	-----	

ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY TRANSPORTATION OFFICIALS	MB	MAIL BOX
AB	ANCHOR BOLT	MDD	MAXIMUM DRY DENSITY
AC	ASPHALT CONCRETE, ASBESTOS CEMENT	MH	MANHOLE
ACP	ASPHALT CONCRETE PAVEMENT	MIN	MINIMUM
ADS	POLYETHYLENE PIPE	MJ	MECHANICAL JOINT
ALD	ALDER	MON	MONUMENT
APPROX	APPROXIMATE	MW	MONITORING WELL
APWA	AMERICAN PUBLIC WORKS ASSOCIATION		
AVE	AVENUE	N	NORTH
		NAD	NORTH AMERICAN DATUM
BF	BLIND FLANGE	NAVD	NORTH AMERICAN VERTICAL DATUM
BH	BORE HOLE	NE	NORTHEAST
BM	BENCH MARK	NGVD	NATIONAL GEODETIC VERTICAL DATUM
BO	BLOW-OFF	NIC	NOT IN CONTRACT
		NO.	NUMBER
CAV	COMBINATION AIR VALVE	NPT	NATIONAL PIPE THREAD
CB	CATCH BASIN	NTS	NOT TO SCALE
CDF	CONTROLLED DENSITY FILL	NW	NORTHWEST
CF	CLEARING LIMIT FENCE		
CHLK	CHAIN LINK	OC	ON CENTER
CI	CAST IRON	OD	OUTSIDE DIAMETER
C/L, CL	CENTERLINE	OH	OVERHEAD
CLR	CLEAR	OHW	ORDINARY HIGH WATER
CMP	CORRUGATED METAL PIPE	OP	OVERHEAD POWER
CO	CLEANOUT	OPG	OPENING
CONC	CONCRETE		
CONSTR	CONSTRUCTION	P	POWER
CPLG	COUPLING	PE	PLAIN END
CSBC	CRUSHED SURFACING BASE COURSE	PG	PERFORMANCE GRADE
CSTC	CRUSHED SURFACING TOP COURSE	PSF	POUNDS PER SQUARE FOOT
CULV	CULVERT	PVC	POLYVINYL CHLORIDE
		PVMT	PAVEMENT
D/W	DRIVEWAY	PWR	POWER
D	DEPTH, DOUBLE		
DBH	DIAMETER BREAST HEIGHT	RD	ROAD
DI	DUCTILE IRON	RED	REDUCER
DIA	DIAMETER	REINF	REINFORCEMENT
DIP	DUCTILE IRON PIPE	REQ'D	REQUIRED
DIPS	DUCTILE IRON PIPE SIZE	RET	RETAINING
DR	DRIVE	ROW, R/W	RIGHT OF WAY
DTREE	DECIDUOUS TREE	RRC	RED REBAR AND CAP
DWG	DRAWING	RT	RIGHT
E	EAST, ELECTRICAL	S	SOUTH, SLOPE, SEWER
EA	EACH	SCH	SCHEDULE
EW	EACH WAY	SD	STORM DRAIN
EL, ELEV	ELEVATION	SDMH	STORM DRAIN MANHOLE
EP	EDGE OF PAVEMENT	SDR	STANDARD DIMENSION RATIO
ESC	EROSION AND SEDIMENTATION CONTROL	SE	SOUTHEAST
ESMT	EASEMENT	SERV	SERVICE
EX	EXISTING	SF	SILT FENCE
		SSFM	SANITARY SEWER FORCE MAIN
FF	FINISHED FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SS	SANITARY SEWER, SIDE SEWER
FL	FLANGE	SST	STAINLESS STEEL
FPS	FEET PER SECOND	ST	STREET
FT	FEET	STA	STATION
		STD	STANDARD
G	GAS	STL	STEEL
GALV	GALVANIZED	SW	SOUTHWEST
GP	GUARD POST		
GRAV	GRAVEL	T	TELEPHONE
GV	GATE VALVE	T&B	TOP AND BOTTOM
		TBM	TEMPORARY BENCHMARK
HDD	HORIZONTAL DIRECTION DRILLING	TELJB	TELEPHONE JUNCTION BOX
HDPE	HIGH DENSITY POLYETHYLENE	TELR	TELEPHONE RISER
HMA	HOT MIX ASPHALT	TESC	TEMPORARY EROSION AND SEDIMENTATION CONTROL
HORIZ	HORIZONTAL		
HP	HIGH POINT	TV	TELEVISION (CABLE)
HT	HUB AND TACK	TVJB	TELEVISION (CABLE) JUNCTION BOX
HYD	HYDRANT	TVR	TELEVISION (CABLE) RISER
HWD	HIGHLINE WATER DISTRICT	TYP	TYPICAL
ID	INSIDE DIAMETER	UGP	UNDERGROUND POWER
IE	INVERT ELEVATION	UNO	UNLESS NOTED OTHERWISE
IPS	IRON PIPE SIZE		
		VAC	VACUUM
JB	JUNCTION BOX	VERT	VERTICAL
		VPC	VERTICAL POINT OF CURVATURE
KW	KILOWATT	VPI	VERTICAL POINT OF INTERSECTION
		VPT	VERTICAL POINT OF TANGENCY
L	LENGTH		
LF	LINEAR FEET	W/	WITH
LN	LANE	W	WATER, WEST
LT	LEFT	WL	WATER LEVEL
		WM	WATER METER
MAP	MAPLE	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
MAX	MAXIMUM	WS	WATER SERVICE

SYMBOLS AND DESIGNATIONS

TITLE
TITLE

DETAIL

SCALE: 1/2" = 1'-0"

DETAIL NUMBER

C-2

DRAWING NUMBER WHERE DETAIL IS REFERENCED. DASH IF DETAIL APPEARS ON THE SAME SHEET AS SHEET REFERENCED.

TITLE
TITLE

SECTION

SCALE: 1/2" = 1'-0"

SECTION, ELEVATION OR PROFILE REFERENCE LETTER

A

DASH IF SECTION IS TAKEN ON THE SAME DRAWING. DRAWING NUMBER IF SECTION IS TAKEN ON A DIFFERENT SHEET.

SECTION LETTER

A

C-1

DRAWING NUMBER WHERE SECTION IS DRAWN. DASH IF SECTION APPEARS ON SAME SHEET AS CUT.

DETAIL CALLOUT

4/C-1

DRAWING

DETAIL #

ELEVATION LETTER

A

C-1

DRAWING NUMBER WHERE ELEVATION IS DRAWN. DASH IF ELEVATION APPEARS ON SAME SHEET AS REFERENCED.

PHOTO REFERENCE

1

PHOTO NUMBER

DIRECTION PHOTO WAS TAKEN

PIPING DESIGNATIONS

PIPING IS IDENTIFIED BY ITS SIZE FOLLOWED BY PIPING SYSTEM AS FOLLOWS:

NEW PIPING:

PIPE SIZE

GENERAL PIPE MATERIAL

8" DI W

PIPING SYSTEM

METERS:

222

METER NUMBER

EXISTING PIPING:

EX 8" AC W

FOR NEW PIPING MATERIAL, FITTINGS, AND VALVES, SEE SPECIFICATIONS.

PIPING SYSTEM DESIGNATIONS FOR EXISTING PIPING INDICATE TYPE OF SERVICE AND TYPE OF MATERIAL IF KNOWN. CONTRACTOR SHALL VERIFY ALL EXISTING PIPE MATERIAL AND NOT RELY ON THIS DESIGNATION PRIOR TO CONSTRUCTION.

DRAWING REFERENCE

G

GENERAL

EC

EROSION CONTROL

C

CIVIL

R

RESTORATION

Call 48 Hours
Before You Dig

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UNDERGROUND SERVICE

Preliminary
50% Review Set

Not For Construction
12-2018

STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
KENNETH WILLIAM GRANT
5387

No.

Revision

Date

By

App'd

BHC

CONSULTANTS

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Drawn: A. Carioso

Checked: C. Kelsey

Approved: R. Dorn

Scale:

NA

One Inch at Full Scale

If Not One Inch Scale Accordingly

CITY OF
STANWOOD

City of Stanwood
Public Works

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Stanwood, Washington 98292

Phone: (360) 629-9781 Fax: (360) 629-3009

www.ci.stanwood.wa.us

PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR

LEGENDS, ABBREVIATIONS, SYMBOLS
AND DESIGNATIONS

Drawing: G-3

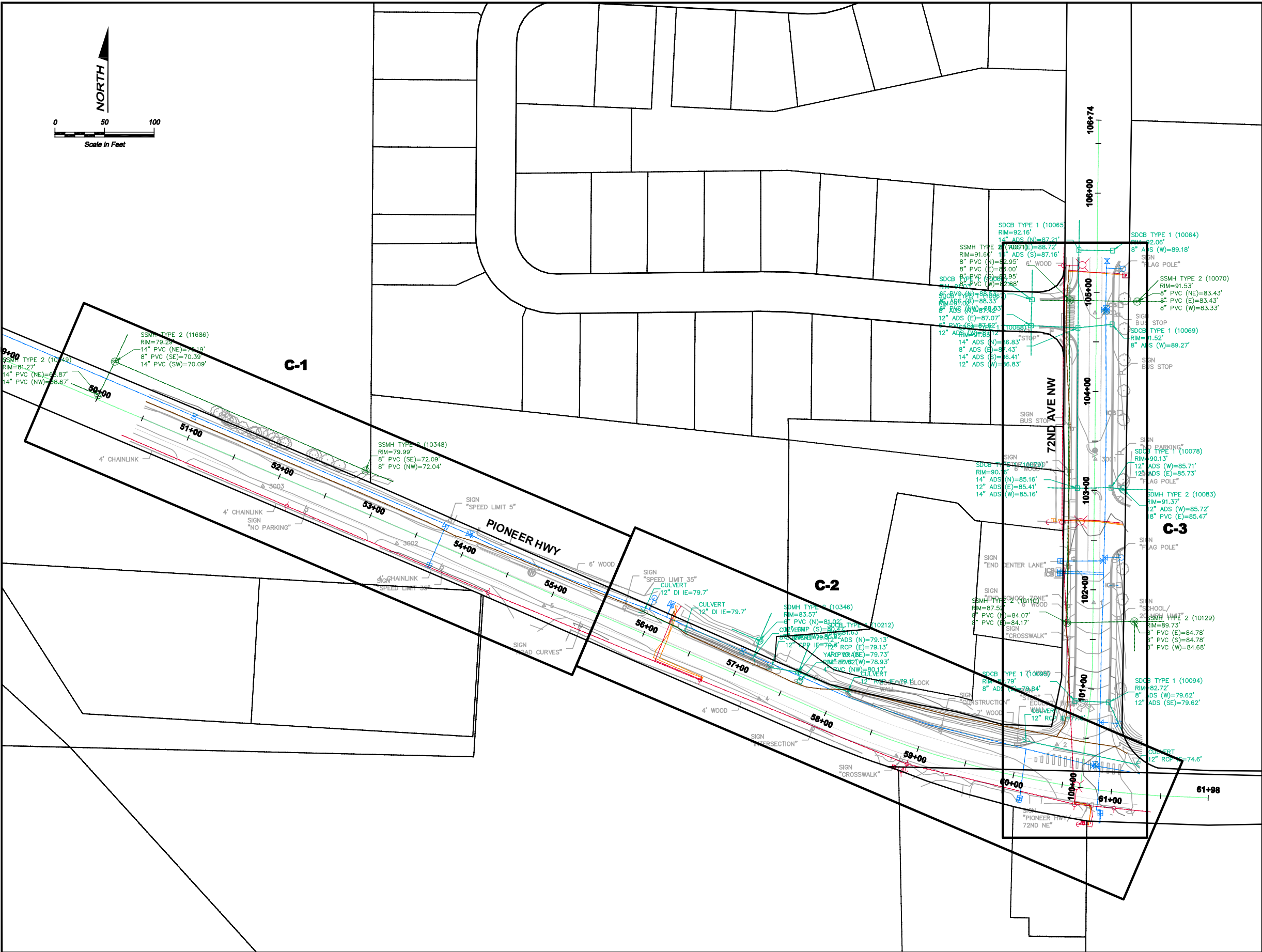
Sheet: 3 of XX

File: P18-10515_G-3

Date: December 2018

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GENERAL NOTES

1. THE CITY OF STANWOOD AND BHC CONSULTANTS LLC ASSUME NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXISTS IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. PIPING SHALL BE INSTALLED IN THE HORIZONTAL AND VERTICAL ALIGNMENT SHOWN HEREIN. ADJUSTMENTS TO THE PLANS AND SPECIFICATIONS SHALL BE REVIEWED BY ENGINEER AND APPROVED BY THE CITY OF LYNDEN PRIOR TO INSTALLATION. THE OWNER ASSUMES NO LIABILITY FOR WORK COMPLETED PRIOR TO CONTRACTOR NOTIFYING ENGINEER OF ALIGNMENT CHANGES AND ENGINEERS REVIEW OF ALIGNMENT CHANGES.
3. **PROTECTION OF THE ENVIRONMENT:** NO CONSTRUCTION RELATED ACTIVITY SHALL CONTRIBUTE TO THE DEGRADATION OF THE ENVIRONMENT, ALLOW MATERIAL TO ENTER SURFACE OR GROUND WATERS, OR ALLOW PARTICULATE EMISSIONS TO THE ATMOSPHERE, WHICH EXCEED STATE OR FEDERAL STANDARDS. ANY ACTIONS THAT POTENTIALLY ALLOW DISCHARGE TO STATE WATERS MUST HAVE PRIOR APPROVAL OF THE WASHINGTON STATE DEPARTMENT OF ECOLOGY.

SURVEYOR'S NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. EXISTING UTILITIES MUST BE LOCATED AND PROTECTED BEFORE AND DURING CONSTRUCTION.
2. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES BASED UPON THE U.S. SURVEY FOOT.
3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE LOCATIONS ONLY BASED ON THE FIELD LOCATION OF UTILITY LOCATE PAINT MARKS AND PHYSICAL FEATURES VISIBLE ON OR ABOVE THE GROUND SURFACE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS/HER FAILURE TO EXACTLY LOCATE AND PROTECT ALL EXISTING UTILITY FACILITIES.
4. UTILITY LOCATES FOR THIS PROJECT WERE PERFORMED BY APS.

DATUM

HORIZONTAL DATUM: WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE (4601), NAD83(91), US SURVEY FOOT.

VERTICAL DATUM: NAVD88

FIELD WORK FOR THIS SURVEY WAS PERFORMED IN MAY AND JUNE OF 2018 MONUMENTS AND CONTROL POINTS SHOWN HEREIN WERE VISITED AND/OR SET IN JUNE OF 2018.

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**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
KEY MAP AND
SURVEY NOTES**

Drawing: **G-4**
Sheet: **4** of **XX**
File: P18-10515_G-4
Date: December 2018



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Drawn: A. Carioso
Checked: C. Kelsey
Approved: R. Dorn

Scale:

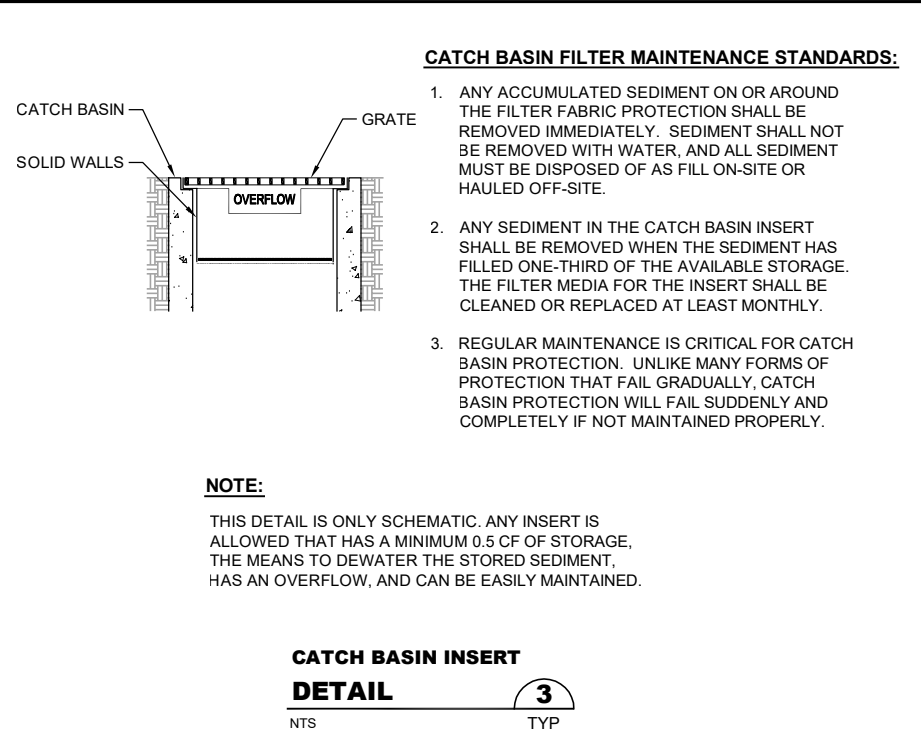
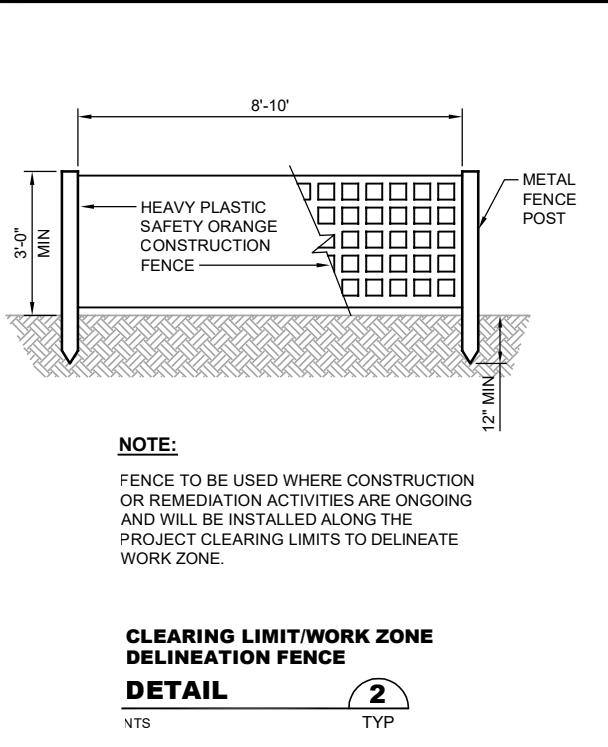
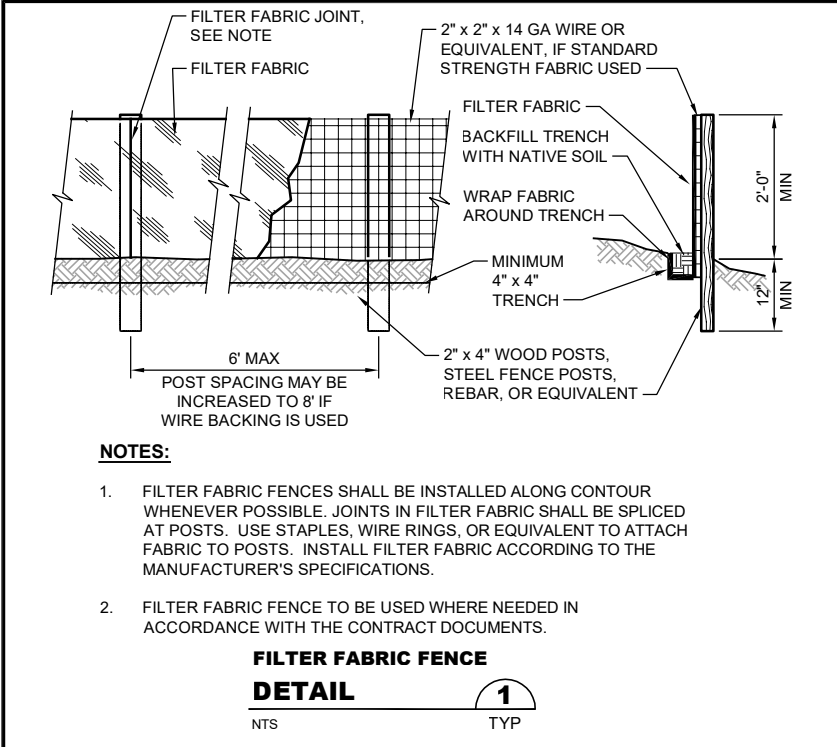
1" = 50'

One Inch at Full Scale
If Not One Inch
Scale Accordingly

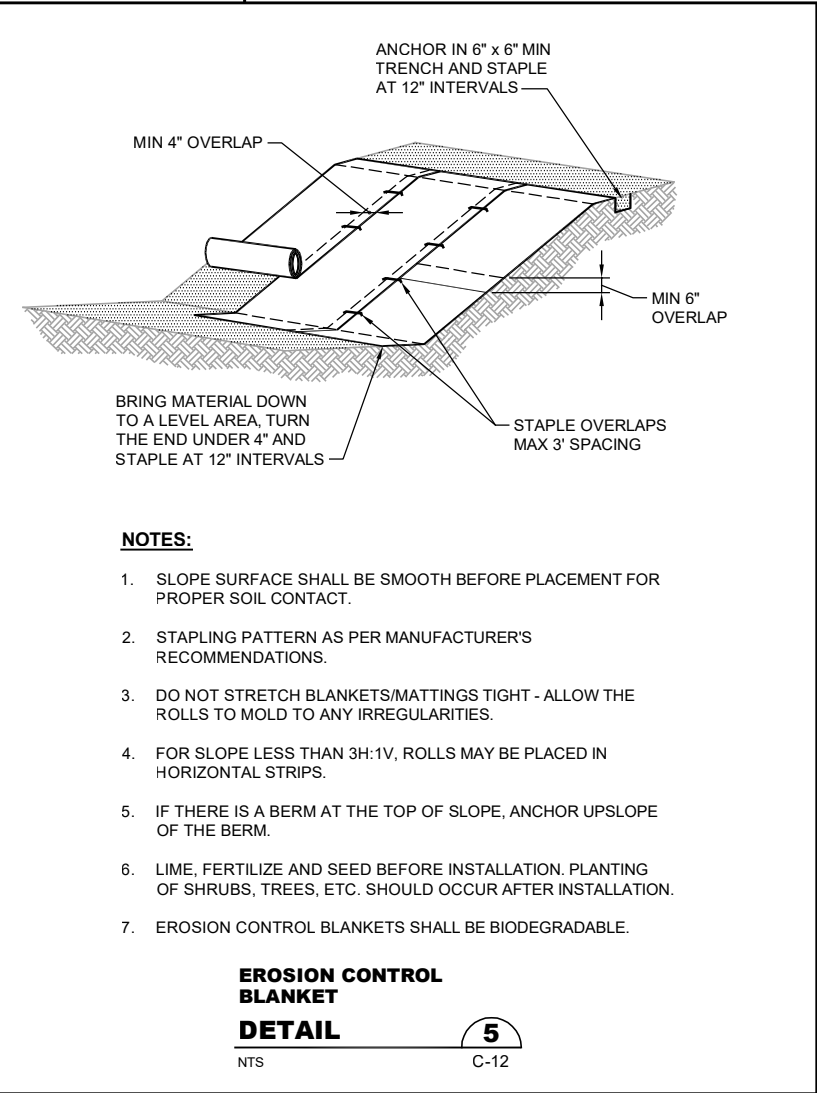
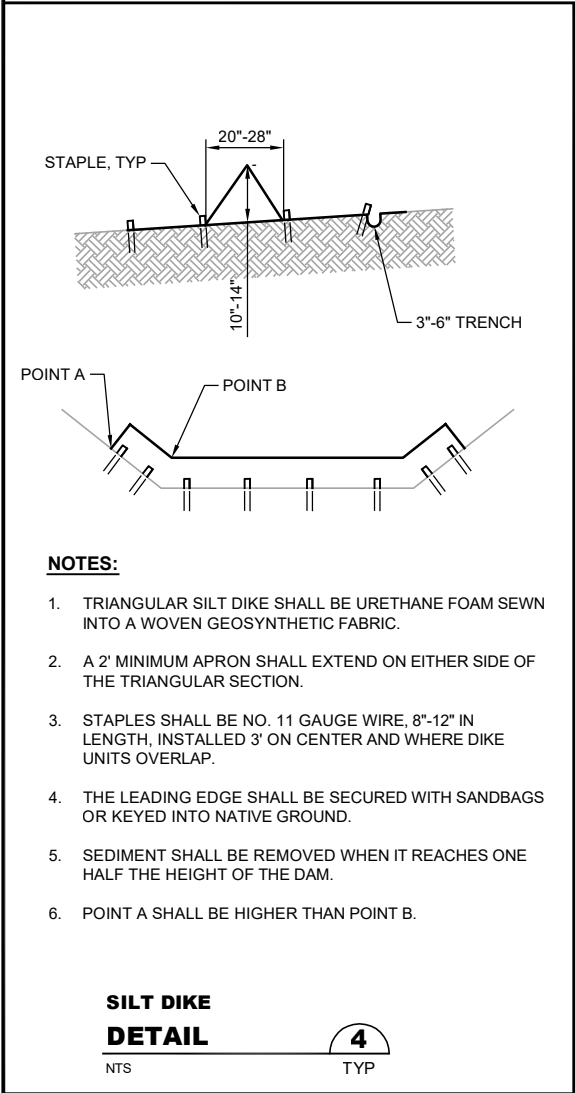


**City of Stanwood
Public Works**
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Stanwood, Washington 98292
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- EROSION CONTROL NOTES:**
- THE FOLLOWING EROSION AND SEDIMENTATION CONTROL (ESC) NOTES APPLY TO ALL CONSTRUCTION SITE AND STAGING AREA ACTIVITIES AT ALL TIMES, UNLESS OTHERWISE SPECIFIED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR FOLLOWING THE SWPPP AND FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING OR SEDIMENT BEING TRANSPORTED FROM THE PROJECT SITE AND STAGING AREA. FAILURE BY THE CONTRACTOR TO PREVENT SILT-LADEN RUNOFF OR SEDIMENT BEING TRANSPORTED FROM THE PROJECT SITE CAN RESULT IN A FINE. THE DESIGNATED CONTACT PERSON SHALL BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND ACCEPTED BY THE OWNER.
 - THE IMPLEMENTATION OF THE SWPPP, THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY THE OWNER AND THE SITE IS STABILIZED.
 - PRIOR TO BEGINNING ANY WORK ON THE PROJECT SITE, A PRECONSTRUCTION CONFERENCE SHALL BE HELD, AND SHALL BE ATTENDED BY THE GENERAL CONTRACTOR, THE PROJECT ENGINEER, THE CONSTRUCTION MANAGER AND THE OWNER.
 - THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN AND IDENTIFIED IN THE SWPPP ARE TO BE CONSIDERED BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, ADDITIONAL PROVISIONS MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY. MINOR DEPARTURES MAY BE PERMITTED SUBJECT TO THE APPROVAL OF THE CONSTRUCTION MANAGER. HOWEVER, EXCEPT FOR EMERGENCY SITUATIONS, MAJOR DEVIATIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. DOCUMENTATION AND RECORD KEEPING OF THESE ACTIVITIES SHALL BE IN ACCORDANCE WITH THE SWPPP.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AS DEFINED IN THE SPECIFICATIONS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTION. ALL SEDIMENT MUST BE REMOVED FROM SILT FENCES, STRAW BALES, SEDIMENT PONDS, CATCH BASIN INSERTS, ETC. PRIOR TO THE SEDIMENT REACHING TO ITS MAXIMUM POTENTIAL DEPTH.
 - AT NO TIME SHALL CONCRETE, CONCRETE BY-PRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT.
 - PERMANENT DETENTION/RETENTION PONDS, PIPES, TANKS OR VAULTS MAY ONLY BE USED FOR SEDIMENT CONTAINMENT WHEN SPECIFICALLY INDICATED ON THESE PLANS OR OTHERWISE APPROVED BY THE OWNER.
 - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE, ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER QUALITY STANDARDS.
 - NECESSARY REPAIRS OR REPLACEMENT OF FACILITIES SHALL BE ACCOMPLISHED PROMPTLY.
 - SEDIMENT DEPOSIT REMAINING IN PLACE AFTER THE ESC FACILITIES ARE NO LONGER REQUIRED SHALL BE REMOVED AS REQUIRED, OR DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
 - ANY BARE EARTH AREAS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 15 DAYS, SHALL BE IMMEDIATELY STABILIZED WITH APPROVED ESC METHODS, E.G., SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.
 - ESC FACILITIES ON INACTIVE SITES SHALL ALSO BE INSPECTED AND MAINTAINED AS NECESSARY.
 - NO CONSTRUCTION RELATED ACTIVITY SHALL CONTRIBUTE TO THE DEGRADATION OF THE ENVIRONMENT, ALLOW MATERIAL TO ENTER SURFACE OR GROUND WATERS, OR ALLOW PARTICULATE EMISSIONS TO THE ATMOSPHERE THAT EXCEED FEDERAL, STATE, OR LOCAL STANDARDS. ANY ACTIONS THAT MAY POTENTIALLY ALLOW A DIRECT DISCHARGE TO STATE WATER SHALL HAVE PRIOR APPROVAL FROM THE STATE OF WASHINGTON DEPARTMENT OF ECOLOGY.
- Call 48 Hours Before You Dig**
- 1-800-424-5555**
- UNDERGROUND SERVICE
- PRELIMINARY
50% Review Set**
- Not For Construction
12-2018**
- EROSION CONTROL
DETAILS AND NOTES**



No.	Revision	Date	By	App'd



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Drawn: A. Carioso
Checked: C. Kelsey
Approved: R. Dorn

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As Shown
One Inch at Full Scale
If Not One Inch Scale Accordingly



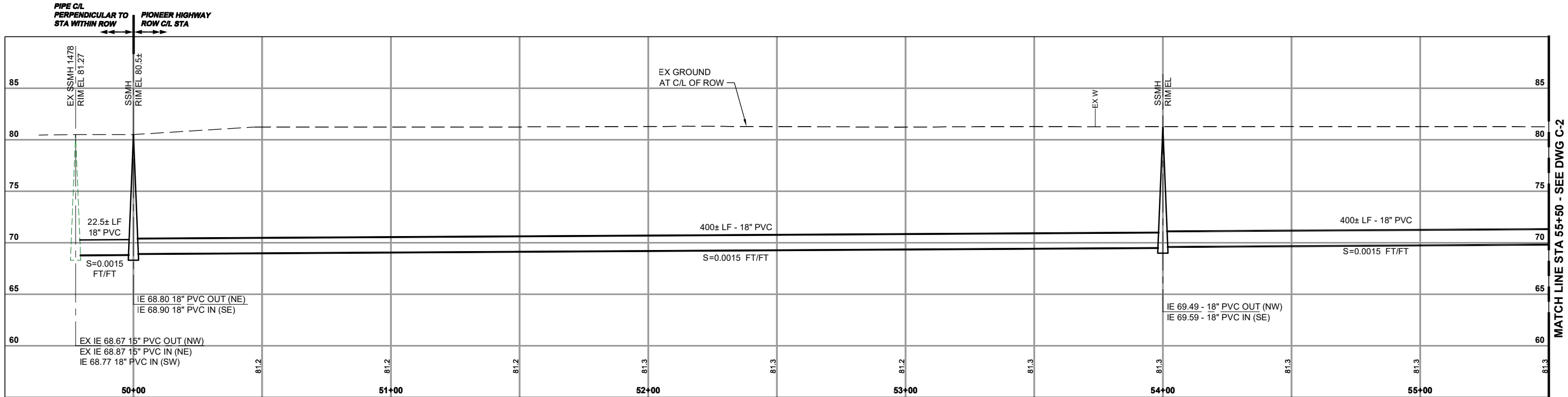
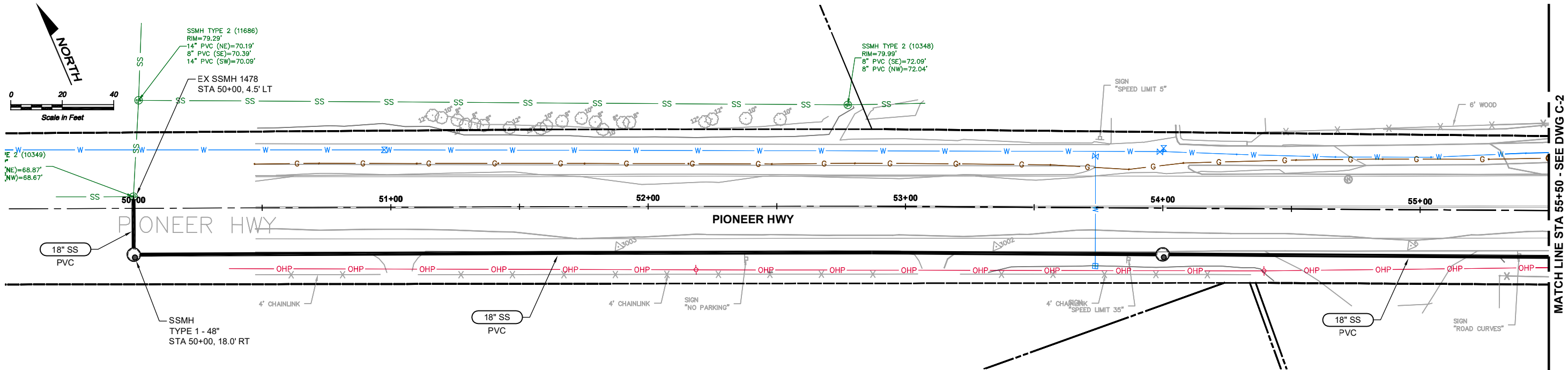
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**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
EROSION CONTROL
DETAILS AND NOTES**



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Sheet: X of XX
File: P18-10515_EC-1
Date: December 2018

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NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION AND AMENDMENTS OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. THE APWA AMENDMENT TO DIVISION ONE, STANDARD PLANS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, ALL WRITTEN AND PROMULGATED BY THE WASHINGTON STATE CHAPTER OF THE APWA AND WSDOT EXCEPT WHERE THE CONTRACT DOCUMENTS AND STANWOOD STREET AND UTILITY STANDARDS PROVIDE OTHERWISE.

2. SEE CITY STANDARD DETAIL DWG NO. S-1 FOR MANHOLE INSTALLATION REQUIREMENTS, TYP.

3. SEE CITY STANDARD DETAIL DWG NO. T-8 FOR TRENCH RESTORATION REQUIREMENTS, TYP, UNLESS NOTED OTHERWISE.
4. PIPE ZONE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH WSDOT STANDARD PLAN B.55.20-00 PER CITY STANDARDS, TYP.

5. PROVIDE MANHOLE COLLARS IN ACCORDANCE WITH CITY STANDARD DETAIL S-3, TYP.

6. PIONEER HIGHWAY RESTORATION WHERE CONCRETE PANELING IS ENCOUNTERED SHALL BE PER DETAIL X/X-X.

7. RESTORE ALL PAVEMENT MARKINGS - STRIPING, ARROWS, CROSSWALK, MARKERS, ETC. - PER WSDOT AND CITY STANDARD DETAIL DWGS NO. T-9 AND NO. T-10 AS REQUIRED, TYP.

Call 48 Hours
Before You Dig

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UNDERGROUND SERVICE

Preliminary
50% Review Set

Not For Construction
12-2018



No.	Revision	Date	By	App'd



BHC Consultants, LLC
1601 Fifth Avenue, Suite 500
Seattle, Washington 98101
206.505.3400
206.505.3406 (fax)
www.bhcconsultants.com

Designed: K. Gray
Drawn: A. Cariaso
Checked: C. Kelsey
Approved: R. Dom

Scale:
1" = 20'-0"
One Inch at Full Scale
If Not One Inch
Scale Accordingly

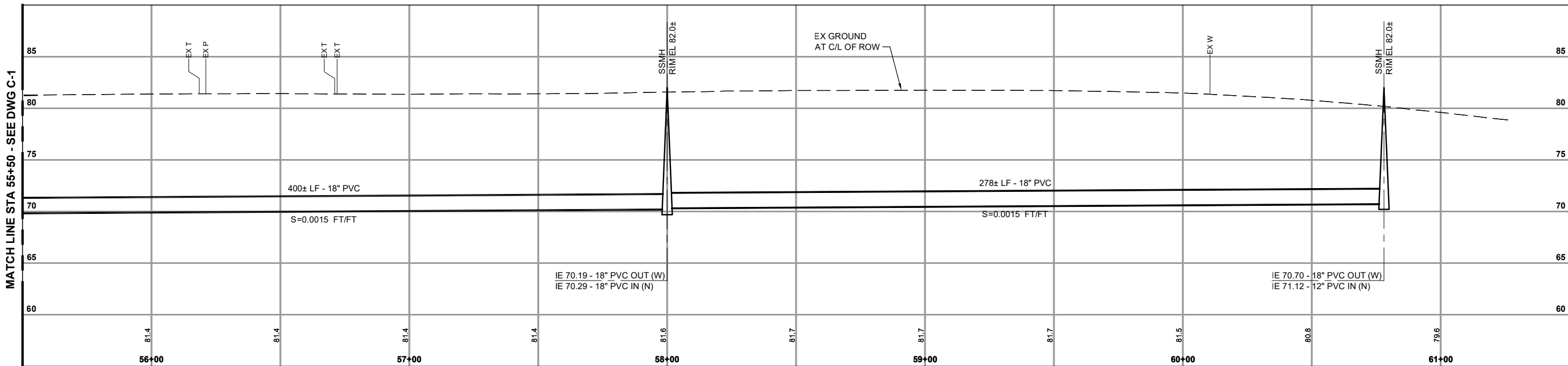
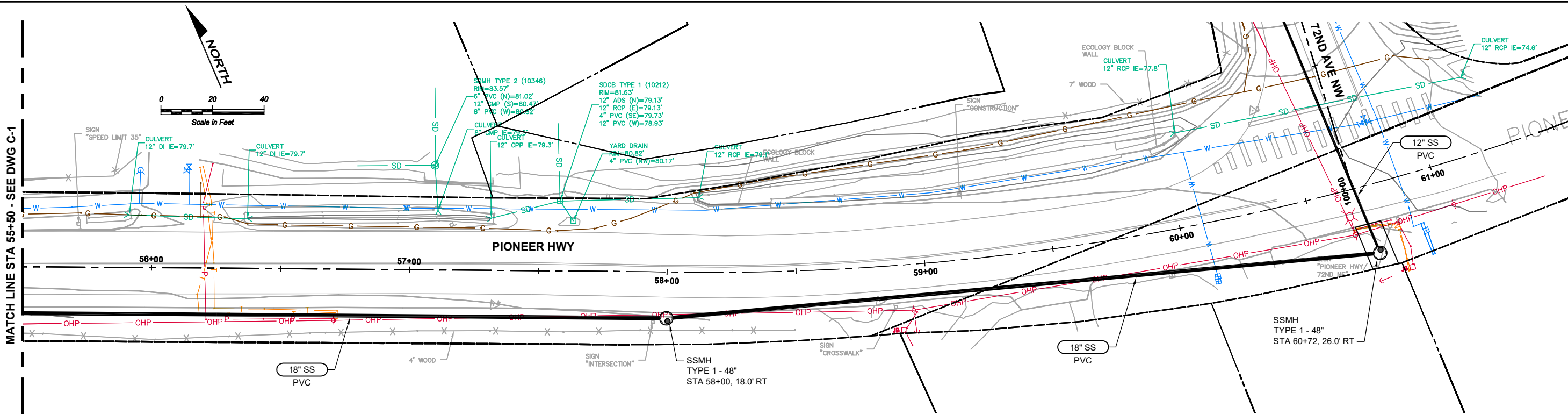


**City of Stanwood
Public Works**
10220 270th Street NW
Stanwood, Washington 98292
Phone: (360) 629-9781 Fax: (360) 629-3009
www.ci.stanwood.wa.us

**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
PLAN AND PROFILE
STA 50+00 TO STA 55+50**

Drawing: **C-1**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
Date: December 2018

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Drawn: A. Carioso
Checked: C. Kelsey
Approved: R. Dorn

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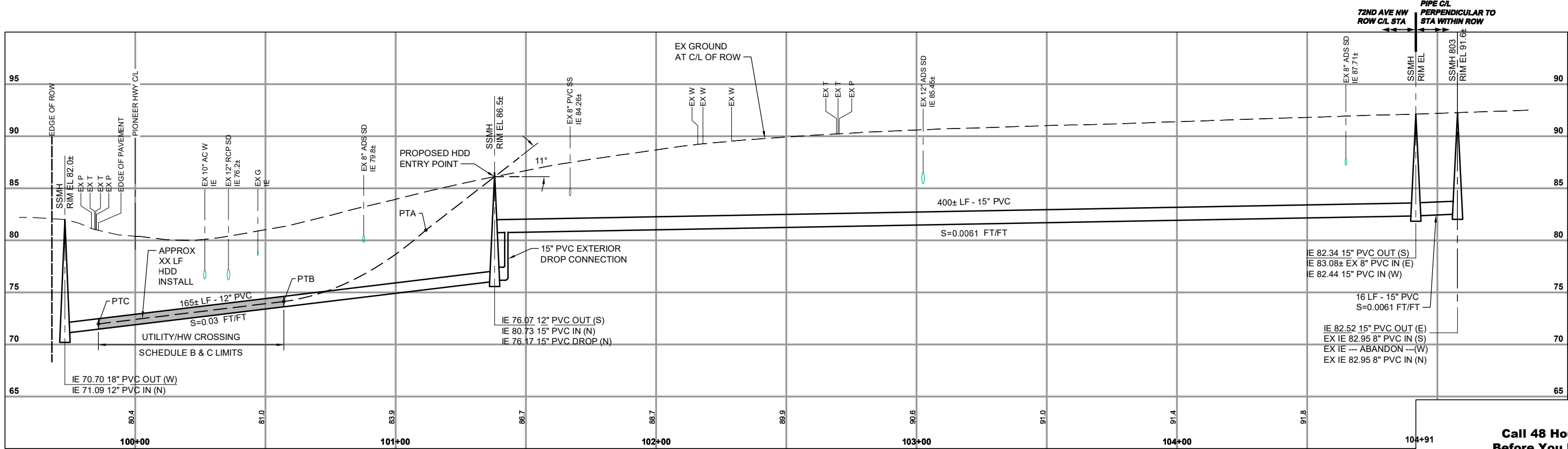
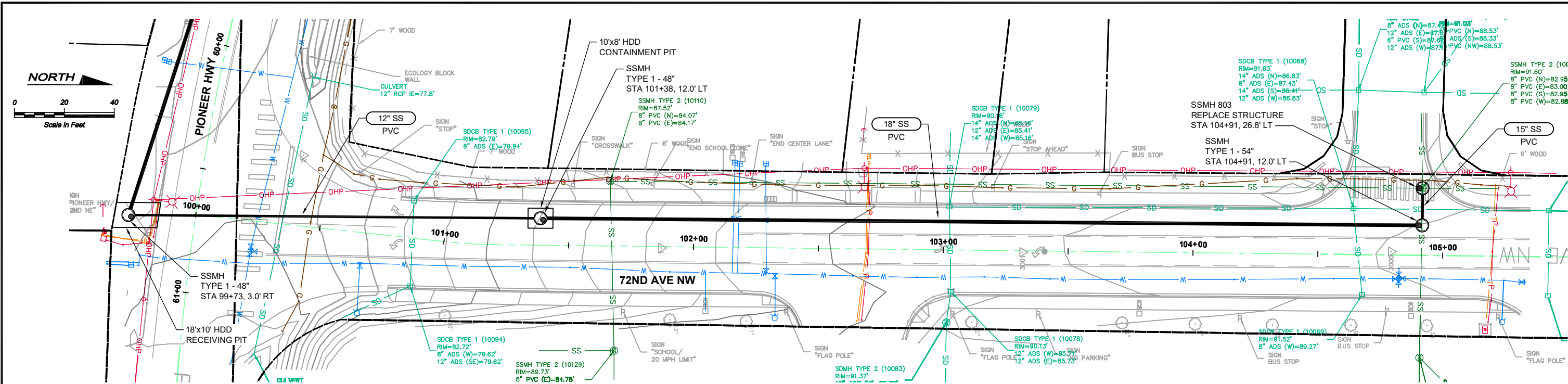


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STA 55+50 TO STA 61+00**

Drawing: **C-2**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
Date: December 2018

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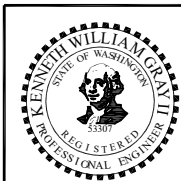
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DESCRIPTION	LOCATION	EL (FT)
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PT A	101+XX.XX	7X.X
PT B	100+XX.XX	7X.X
PT C	60+XX.XX	7X.X

HDD RECOMMENDED TOLERANCES	
SLOPE	±0.015 FT/FT
HORIZONTAL	± 2 FT
VERTICAL	± 1 FT, -0 FT
ENTRY ANGLE	+1°, -0°

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STA 99+73 TO STA 104+91**

Drawing: **C-3**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
Date: December 2018



MEMORANDUM

COMMUNITY DEVELOPMENT DEPARTMENT

10220 270th St NW
Stanwood, WA 98292
360-629-2181

TO: PLANNING COMMISSION

FROM: Amy Rusko, Senior Planner

SUBJECT: Title 11 Streets and Sidewalks, Chapter 11.48 Vacations of Streets and Alleys, and Title 17 Code Amendments

DATE: April 22, 2019

ATTACHMENT: A. Findings of Fact and Conclusions
B. Draft Code Amendment Ordinance

Issue:

The issue before the Planning Commission is to review code changes to adopt new procedures for processing vacations of streets and alleys.

Summary:

Implement new code and edit code sections to the Stanwood Municipal Code for the proposed language regarding the vacation of streets and alleys ordinance. The draft ordinance for Chapter 11.48 Vacation of Streets and Alleys establishes procedures to process a vacation of streets and alleys. The changes to Chapter 17 include text edits to three areas of the code that mentioned right-of-way vacations.

Background:

Over the past several years, the city has received a handful of street vacation applications. The City of Stanwood currently does not have a code section that addresses the process or procedures for street vacations. The City follows Chapter 35.79 RCW for the review and approval of street vacations. In 2017 a draft street vacation ordinance was started, but never completed.

In December of 2017, staff took the draft street vacation ordinance to the Public Works Committee where discussion items included: concerns with the current process, assessing property valuation, creating a new title in the Stanwood Municipal Code and a new chapter for

street vacation. Committee recommendation at that time was to take to full council with the recommendation to approve the proposed language for the street vacation ordinance. For unknown reasons, work on the ordinance was delayed.

Currently the City does not have a Vacation of Streets and Alleys chapter in the Stanwood Municipal Code and follows the standards set forth by Chapter 35.79 RCW. The draft code amendment combines the procedures of Chapter 35.79 RCW with new language specific for the City of Stanwood.

The city has developed a new code section and new chapter to address the vacation of streets and alleys and edits to three chapters of the zoning code. The following are a list of the proposed changes to the Stanwood Municipal Code.

New Title and Chapter:

- Title 11, Streets and Sidewalks
- Chapter 11.48, Vacations of Streets and Alleys

Edits to Title 17:

- Chapter 17.81A – Table 17.81A-I Classification of Permit Decisions
- Chapter 17.81B.515, Notice of Application
- Chapter 17.81B.555, Expiration of Approval

Vacation of Streets and Alleys Amendments

- Title 11, Streets and Sidewalks is a new Title to the Stanwood Municipal Code.
- Chapter 11.48, Vacation of Streets and Alleys is a new Chapter to the Stanwood Municipal Code. Chapter 11.48 established procedures for processing vacations of streets and alleys within the city.
- Chapter 17.81A Edits. Table 17.81A-I: Classifications of Permits and Decisions has been edited to read “Vacations of Streets and Alleys” instead of Right-of-Way Vacation to have the same name as the new chapter.
- Chapter 17.81B.515 Edits. Remove the language that discusses the Notice of Application requirements listed in (4). The new code regulates the noticing procedures.
- Chapter 17.81B.555 Edits. Remove the language within the Expiration of Approval section that references right-of-way vacations. The new code address proposed timelines throughout the vacation process.

Comprehensive Plan:

Stanwood’s Comprehensive Plan notes that improvements to transportation, parks, bicycle paths, and trail systems are an integral part of the city. The proposed chapter provides clear procedures and criteria enabling the city can make strategic decisions regarding the needs of public right-of-way.

LUG-1: Plan current and future land uses in accordance with the Washington State Growth Management Act, Snohomish Countrywide Planning Policies and the values and vision of Stanwood residents and business people.

EDP-6.1: Ensure that City licensing and permitting procedures and development regulations are coherent, fair, and expeditious.

EDP-8.11: Create an interconnected grid street system that give public access to the interior of large parcels.

TG-1: Continue to develop a transportation system that encourages, supports, and enhances the safe, efficient and reliable movement of people, vehicles, and goods.

TP-1.8: Encourage or require where appropriate a grid of through-streets to create a transportation system with east-west and north-south connections.

TP-1.9: Work toward completing an integrated street network for automobiles, bicycles, and pedestrians by using complete streets program provisions as a guideline.

TP-5.9: Preserve unimproved public rights-of-way when reasonable to assure they are available in the future for development of an interconnected network of pedestrian and bicycle trails.

Financial Impact:

There are no direct financial impacts to the City except the staff and attorney time to review any subsequent permit applications.

City Council Public Works Committee Recommendation:

The Council Public Works Committee's April meeting included a briefing on the proposed vacation of street and alley code amendment. At that meeting the Committee recommended to proceed with the proposed edits.

City Council Community and Economic Development Committee Recommendation:

The Council Community Development Committee's March meeting included a briefing on the proposed vacation of street and alley code amendment. At that meeting the Committee agreed with the need to have an ordinance and supports adding it to the Council's agenda upon receipt of the Planning Commission's Recommendation.

Staff Recommendation:

Attached for your review and consideration is the proposed draft vacation of streets and alleys code amendment, along with edits to Title 17. Staff recommends that the Planning Commission:

1. Open the Public Hearing
2. Receive the Staff Presentation and Ask Questions (if any)
3. Take Public Testimony and Ask Questions (if any)
4. Deliberate or Ask Any Additional Questions of Staff
5. Close the Public Hearing
6. Recommend / approve the draft code amendment and findings of fact and conclusions as presented or with amendments.

Planning Commission Options:

- 1) Recommend approval of the proposed edits to Title 11, Streets and Sidewalks, Chapter 11.48, Vacation of Streets and Alleys, and edits to Title 17, Zoning to the Stanwood City Council adopting new procedures for processing vacations of streets and alleys to City Council.
- 2) Recommend alternative language to the proposed edits to Title 11, Streets and Sidewalks, Chapter 11.48, Vacation of Streets and Alleys, and edits to Title 17, Zoning and direct staff to include those recommendations in the staff presentation to the City Council.
- 3) Recommend denial of the proposed code amendments to Title 11, Streets and Sidewalks, Chapter 11.48, Vacation of Streets and Alleys, and edits to Title 17, Zoning to the City Council.

Planning Commission Recommended Motions:

I MOVE TO RECOMMEND APPROVAL OF THE CODE AMENDMENTS TO TITLE 11, STREETS AND SIDEWALKS, CHAPTER 11.48, VACATION OF STREETS AND ALLEYS, AND EDITS TO TITLE 17, ZONING TO THE STANWOOD CITY COUNCIL.

I MOVE TO RECOMMEND APPROVAL OF THE FINDINGS OF FACT AND CONCLUSIONS FOR THE CODE AMENDMENTS TO TITLE 11, STREETS AND SIDEWALKS, CHAPTER 11.48, VACATION OF STREETS AND ALLEYS, AND EDITS TO TITLE 17, ZONING TO THE STANWOOD CITY COUNCIL.

These motions can be amended to add any proposed amendments as discussed at the public hearing and during deliberations.



City of Stanwood Findings of Fact and Conclusions of Law Planning Commission Recommendation

A. GENERAL INFORMATION

File Number(s): 2019-0053

Project Summary: Title 11 Streets and Sidewalks, Chapter 11.48 Vacation of Streets and Alleys, and Title 17 Code Amendments

Applicant: City of Stanwood

Location: City of Stanwood

Public Hearing Date: April 22, 2019

Staff Contact: Amy Rusko, Senior Planner

B. BACKGROUND AND DESCRIPTION OF PROPOSAL

Implement new and edit code sections to the Stanwood Municipal Code for the proposed language regarding the vacation of streets and alleys ordinance. The draft ordinance for Chapter 11.48 Vacation of Streets and Alleys establishes procedures to process a vacation of streets and alleys. The changes to Chapter 17 include text edits to three areas of the code that mentioned right-of-way vacations.

Over the past several years, the city has received a handful of street vacation applications. The City of Stanwood currently does not have a code section that addresses the process or procedures for street vacations. The City follows Chapter 35.79 RCW for the review and approval of street vacations. In 2017 a draft street vacation ordinance was started, but never completed. In December of 2017, staff took the draft street vacation ordinance to the Public Works Committee where discussion items included: concerns with the current process, assessing property valuation, creating a new title in the Stanwood Municipal Code and a new chapter for street vacation. Committee recommendation at that time was to take to full council with the recommendation to approve the proposed language for the street vacation ordinance. For unknown reasons, work on the ordinance was delayed.

C. CODE AMENDMENT CRITERIA

The city may approve or approve with modifications amendments to the text of the zoning code if:

(a) The purpose and desired effect of the proposed zoning code amendment are consistent with the Stanwood Municipal Code;

Currently the City does not have a Vacation of Streets and Alleys chapter in the Stanwood Municipal Code and follows the standards set forth by Chapter 35.79 RCW. The draft code amendment combines the procedures of Chapter 35.79 RCW with new language specific for the City of Stanwood.

The city has developed a new code section and new chapter to address the vacation of streets and alleys and edits to three chapters of the zoning code. The following are a list of the proposed changes to the Stanwood Municipal Code.

New Title and Chapter:

- Title 11, Streets and Sidewalks
- Chapter 11.48, Vacations of Streets and Alleys

Edits to Title 17:

- Chapter 17.81A – Table 17.81A-I Classification of Permit Decisions
- Chapter 17.81B.515, Notice of Application
- Chapter 17.81B.555, Expiration of Approval

(b) There is a positive relationship to the public health, safety and welfare of the community; and

The intent of the new chapter is to develop consistent regulations in regards to: petition, compensation, analysis, hearings, and granting criteria to process a vacation of street or alley within the city.

(c) The proposed amendment is consistent with the Stanwood Comprehensive Plan.

Stanwood's Comprehensive Plan notes that improvements to transportation, parks, bicycle paths, and trail systems are an integral part of the city. The proposed chapter provides clear procedures and criteria enabling the city to make informed and strategic decisions regarding the needs of public right-of-way.

LUG-1: Plan current and future land uses in accordance with the Washington State Growth Management Act, Snohomish Countrywide Planning Policies and the values and vision of Stanwood residents and business people.

EDP-6.1: Ensure that City licensing and permitting procedures and development regulations are coherent, fair, and expeditious.

EDP-8.11: Create an interconnected grid street system that give public access to the interior of large parcels.

TG-1: Continue to develop a transportation system that encourages, supports, and enhances the safe, efficient and reliable movement of people, vehicles, and goods.

TP-1.8: Encourage or require where appropriate a grid of through-streets to create a transportation system with east-west and north-south connections.

TP-1.9: Work toward completing an integrated street network for automobiles, bicycles, and pedestrians by using complete streets program provisions as a guideline.

TP-5.9: Preserve unimproved public rights-of-way when reasonable to assure they are available in the future for development of an interconnected network of pedestrian and bicycle trails.

D. FINDINGS OF FACT

1. It is necessary and beneficial for the health, safety and welfare of the community to establish regulations for the process of vacating streets and alleys within the city.
2. There is a need to establish procedures for vacating streets and alleys. The vacation procedures provides a consistent process that evaluates all vacations using the same criteria.
3. Stanwood's 2015 – 2035 Comprehensive Plan addresses the need to provide necessary regulations regarding transportation systems that encourages and supports efficient and reliable movements:
 - LUG-1: Plan current and future land uses in accordance with the Washington State Growth Management Act, Snohomish Countrywide Planning Policies and the values and vision of Stanwood residents and business people.
 - EDP-6.1: Ensure that City licensing and permitting procedures and development regulations are coherent, fair, and expeditious.
 - EDP-8.11: Create an interconnected grid street system that give public access to the interior of large parcels.
 - TG-1: Continue to develop a transportation system that encourages, supports, and enhances the safe, efficient and reliable movement of people, vehicles, and goods.
 - TP-1.8: Encourage or require where appropriate a grid of through-streets to create a transportation system with east-west and north-south connections.

- TP-1.9: Work toward completing an integrated street network for automobiles, bicycles, and pedestrians by using complete streets program provisions as a guideline.
 - TP-5.9: Preserve unimproved public rights-of-way when reasonable to assure they are available in the future for development of an interconnected network of pedestrian and bicycle trails.
4. Pursuant to RCW 36.70A.106, the City has notified the Washington State Department of Commerce of the City's intent to adopt the proposed amendments to the zoning code.
 5. The Planning Commission held a public hearing on April 22, 2019 considered all relevant matters, and heard all parties in support or opposition, and subsequently forwarded a recommendation to the City Council.
 6. The City of Stanwood SEPA Responsible Official reviewed the amendments and issued a SEPA Exemption on March 6, 2019.
 7. The code amendment was circulated for public review on March 21, 2019. No comments were received on the amendments.
 8. The City Council Public Works Committee reviewed the proposed amendments set forth in this Ordinance at their April 1, 2019 meeting.
 9. The City Council Community Development Committee reviewed the proposed amendments set forth in this Ordinance at their March 14, 2019 meeting.
 10. Staff prepared a report summarizing the proposed code amendment. This report is part of the public record and was presented to the Planning Commission at the public hearing on April 22, 2019 for their consideration.

E. CONCLUSIONS OF LAW

1. The City of Stanwood has authority under RCW Title 35A, to adopt plans and regulations related to development and operations within the City of Stanwood.
2. SMC section 17.155.030 requires that the Planning Commission review and make recommendations to the Stanwood City Council regarding code amendments to Title 17, Zoning.
3. Planning Commission briefings to discuss the proposed code amendment was held on February 19, 2019.

4. On April 16, 2019, the public hearing notice was printed in the Stanwood Camano News as required by law that a public hearing was to be held by the Planning Commission and all persons wishing to provide public input concerning the proposed amendments set forth in this Ordinance were heard.
5. SEPA review was conducted on the proposal and a SEPA Exemption was issued on March 6, 2019 under WAC 197-11-800(19).
6. The proposal is consistent with the Comprehensive Plan and meets the requirements and intent of the Plan, including Land Use Goals 1, Economic Development Policies 6.1 and 8.11, Transportation Goal 1, and Transportation Policies 1.8, 1.9 and 5.9.
7. The proposal is beneficial to the public health, safety and welfare and is in the public interest by providing reliable and consistent rules and procedures for street vacation applications.
8. After considering staff comments and public testimony the Stanwood Planning Commission determined the draft code amendment is consistent with the Comprehensive Plan and should be adopted.

F. STAFF RECOMMENDATION

Move that the Planning Commission **ADOPT** the Findings of Fact and Conclusions of Law contained herein and **AUTHORIZE** the Planning Commission Chair to sign the Findings on behalf of the Commission and recommend that the Stanwood City Council **APPROVE** the proposed amendments to Title 11 and Title 17 of the Stanwood Municipal Code.

Dated this 22nd of April 2019.

Linda Utgard, Planning Commission Chair
City of Stanwood

**CITY OF STANWOOD
WASHINGTON**

ORDINANCE NO. XXXX

**AN ORDINANCE OF THE CITY OF STANWOOD, WASHINGTON,
ADOPTING STANWOOD MUNICIPAL CODE TITLE 11, ENTITLED
STREET AND SIDEWALKS, CHAPTER 11.48 VACATION OF STREETS
AND ALLEYS, CHAPTER 17.81A, AND CHAPTER 17.81B, RELATING TO
PROCEDURES TO VACATE STREETS AND ALLEYS.**

WHEREAS, The City Council of Stanwood has authority under RCW Title 35A, to adopt plans and regulations related to development and operations within the City of Stanwood; and

WHEREAS, there is a need to establish procedures for vacating streets and alleys. The vacation procedures provide a consistent process that evaluates all vacations using the same criteria; and

WHEREAS, the City does not have a vacation of streets and alleys chapter in the Stanwood Municipal Code and follows the standards set forth by Chapter 35.79 RCW; and

WHEREAS, the intent of the new chapter is to develop consistent regulations in regards to: petition, compensation, analysis, hearings, and granting criteria to process a vacation of street or alley within the City; and

WHEREAS, the code amendments are consistent with the Comprehensive Plan and meet the requirements and intent of the Plan, including Land Use Goal 1, Economic Development Policies 6.1 and 8.11, Transportation Goal 1, and Transportation Policies 1.8, 1.9 and 5.9; and

WHEREAS, the code amendment was circulated for public review on March 21, 2019; and

WHEREAS, the City Council Public Works Committee reviewed the proposed language and amendments set forth in this Ordinance at their April 1, 2019 meeting; and

WHEREAS, the City Council Community Development Committee reviewed the proposed language and amendments set forth in this Ordinance at their March 14, 2019 meeting; and

WHEREAS, the Planning Commission held a Public Hearing April 22, 2019 and _____ of the code amendments to the City Council; and

WHEREAS, the City Council held their first reading of the draft code amendments on May 9, 2019 and their second reading on May 23, 2019 and _____; and

WHEREAS, pursuant to RCW 36.70A.106, the City notified the Washington State Department of Commerce of the City's intent to adopt the proposed amendments to the Stanwood Municipal Code; and

WHEREAS, the amendments are beneficial to the public health, safety and welfare and is in the public interest by providing reliable and consistent rules and procedures for street vacation applications; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF STANWOOD, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. SMC 11.48 entitled "Vacations of Streets and Alleys" is hereby amended to read as follows:

Chapter 11.48

VACATIONS OF STREETS AND ALLEYS

Sections:

<u>11.48.010</u>	Statement of Purpose
<u>11.48.020</u>	Petition – Fee – Subdivision Vacation.
<u>11.48.030</u>	Pre-application Procedure.
<u>11.48.040</u>	Petition – Procedure – Investigation.
<u>11.48.050</u>	Resolution Setting Public Hearing.
<u>11.48.060</u>	Compensation.
<u>11.48.070</u>	Nonuser Statute
<u>11.48.080</u>	Public Hearing Notice – Fifty Percent Objection.
<u>11.48.090</u>	Appraisal – Survey – Fees.
<u>11.48.100</u>	Granting Criteria.
<u>11.48.110</u>	Right to Reserve Easements.
<u>11.48.120</u>	Vacation Ordinance.
<u>11.48.130</u>	Notice of Action to Auditor and Appraiser.
<u>11.48.140</u>	Use of Proceeds of Vacation.
<u>11.48.150</u>	Title to Vacated Street or Alley.

11.48.010 Statement of Purpose

This chapter establishes the procedures and criteria that the city will use to decide upon vacation of streets, alleys and other types of public easements relating to street, pedestrian or travel purposes.

11.48.020 Petition – Fee – Subdivision Vacation.

(1) The owner of an interest in any real estate abutting on any street or alley who may desire to vacate any street or alley, or any part thereof, shall petition the City Council for the vacation of such street or alley or any part thereof in the manner hereinafter provided in this chapter and pursuant to Chapter 35.79 RCW. Such petition shall be on such form as may be prescribed by the City, shall contain a full and correct legal description and map of the property sought to be vacated, and shall be signed by the owners of more than two-thirds of the property abutting upon the part of such street or alley sought to be vacated.

(2) Fees to be paid on the filing of a petition shall be established by resolution of the City Council. Until all fees have been paid in full, no action shall be taken on the petition.

(3) If a proposed street vacation is part of a proposed vacation of a subdivision or short subdivision, then the procedure for vacation of subdivisions under RCW 58.17.212 shall be used and complied with, and the street vacation procedure under this chapter shall not be used.

11.48.030 Pre-application Procedure.

(1) Prior to submitting a petition for the vacation of any street or alley, any abutting property owner may submit a written request to the Public Works Director for a pre-application meeting to discuss the proposal. The request shall include a description of the right-of-way for which vacation is intended to be sought, a statement of the applicant's reasons for requesting vacation, and a statement as to how the requested vacation meets the criteria for granting a vacation as set forth in SMC 11.48.100. No fee shall be required in connection with the pre-application meeting request.

(2) Upon receipt of a request for a pre-application meeting, the Public Works Director shall schedule the meeting. The Public Works Director may preliminarily determine if there are any of the granting criteria that the proposal appears incapable of complying with. This preliminary determination shall not be final or binding in any respect. If the applicant thereafter decides to proceed with a street vacation petition, all provisions of this chapter shall apply.

11.48.040 Petition – Procedure – Investigation.

(1) Upon receiving a petition, and payment of fees for the vacation of a City street or alley, and upon completion of the report referenced in Subsection 3 below, from the Public Works Director or designee (hereafter "Public Works Director"), will place the matter upon the agenda of a meeting of the City Council. The Petitioners shall be notified in writing of the date the matter shall come before the City Council.

(2) The City Clerk shall notify the Public Works Director of all proposed vacations. It shall be the duty of the Public Works Director to investigate and report on the matters set forth in SMC 11.48.040(3).

(3) Prior to the presentation of the petition to the City Council, the Public Works Director shall investigate and report on the following:

- (a) Ownership of the property abutting on the street or portion sought to be vacated. Proof of ownership of abutting property by the title insurance or certificates may be required, such proof to be furnished by, and at the expense of, the petitioners;
- (b) Whether and in what respect the public may be benefited or harmed by the vacation;
- (c) Whether the public benefit of the area's use is insufficient to justify the cost of maintenance;
- (d) Which property or properties will be directly benefited or adversely affected by the vacation, and in what way;
- (e) What effect the vacation will or may have upon property served or which might be served by said vacated street, and whether said street has been opened or constructed, and if so, to what standard;
- (f) How said street relates to other streets and highways, and whether other portions of the subject street or alley have already been vacated;
- (g) Whether the substitution of an alternate way would be more useful to the public;
- (h) Whether future changes in conditions may increase public use or need;
- (i) How and when the street or alley sought to be vacated became a public right-of-way;
- (j) Whether any utilities now exist in said street, or whether such street may be reasonably necessary for future utility uses;
- (k) The necessity or desirability of the City retaining an easement or the right to exercise and grant easements for emergency vehicle access and construction, repair, and maintenance of public utilities and services over the land sought to be vacated;
- (l) Whether any abutting owner would become landlocked or its access substantially impaired; i.e., whether there is an alternative motive ingress and egress, even if less convenient;
- (m) If the right-of-way abuts a body of water, how the proposed vacation would or would not comply with the requirements set forth in RCW 35.79.035;
- (n) Whether there is compliance with the Comprehensive Plan, Transportation Plan and future road alignments; and
- (o) Any other matters relevant to the vacation of the street or alley.

(4) The Public Works Director shall determine the location and general legal description of the street or alley proposed for vacation and sufficiently known to the City.

11.48.050 Resolution Setting Public Hearing.

(1) The City Council shall consider the report of the Public Works Director, shall consider whether the Council will require that the City be compensated as a condition of the vacation, and shall determine whether to adopt a resolution setting a public hearing on the proposed vacation. The Council will generally make its determination regarding compensation before it adopts the resolution, but the Council shall retain the discretion to review its determination following the public hearing.

(2) For both petition and Council-initiated vacations proposed for public hearing, the City Council shall adopt a resolution setting a time for the hearing, which is not less than 20 nor more than 60 days from the date of passage of the resolution.

11.48.060 Compensation.

The City Council may require the petitioners to compensate the City of Stanwood, prior to the vacation becoming effective, in accordance with the following criteria:

(1) If the City Council determines in its discretion to grant the petition for vacation or any part thereof, the Council may by ordinance vacate such street or alley. Except as otherwise provided herein, such ordinance shall not become effective until the City is compensated in an amount which does not exceed one-half the appraised value of the area to be vacated;

(2) Notwithstanding (1) above, when the street or alley has been part of a dedicated public right-of-way for twenty-five years or more, or when the street or alley or portions thereof were acquired at public expense, an amount that does not exceed the full appraised value of the area vacated;

(3) Compensation may be waived or reduced either when the vacation is initiated by the City of Stanwood or when the City Council deems it to be in the best interest of the City in accordance with the following criteria:

(a) When the abutting property is owned by a governmental entity or by a non-profit corporation whose purpose is for the necessary support of the poor or infirm; or

(b) When the street or alley was vacated by the provisions of Section 32, Chapter 19, Laws of 1889-90 (as described in SMC 11.48.050).

(c) When the street or alley (right-of-way) vacated is traded for property of greater or approximately equal value;

(d) When the street or alley (right-of-way) vacated is abutting residential properties and is 1500 square feet or less, the appraisal required under SMC section 11.48.090 may be waived and the value calculated as a percentage of the average Snohomish County Assessor assessed value of the abutting properties.

(e) When the street or alley (right-of-way) vacated is de Minimis, under 500 square feet, or otherwise has little to no assessed value.

11.48.070 Nonuser Statute

(1) Section 32, Chapter 19, Laws 1889-90, is known as the “nonuser” statute and reads as follows: “Any county road, or part thereof, which remains unopened for public use for a period of five years after the order is made or authority granted for opening it, shall be thereby vacated, and the authority for building it barred by lapse of time.”

(2) The nonuser statute was amended in 1909 by adding a significant proviso, which is set forth in the current, codified version of the statute, which reads as follows:

RCW 36.87.090 Vacation of road unopened for five years -- Exceptions.

Any county road, or part thereof, which remains unopened for public use for a period of five years after the order is made or authority granted for opening it, shall be thereby vacated, and the authority for building it barred by lapse of time: PROVIDED, That this section shall not apply to any highway, road, street, alley, or other public place dedicated as such in any plat, whether the land included in such plat is within or without the limits of an incorporated city or town, or to any land conveyed by deed to the state or to any county, city or town for highways, roads, streets, alleys, or other public places.

(3) The proviso in RCW [36.87.090](#) exempts streets dedicated in a plat from the nonuser statute. In applying this proviso, the statute cannot have a retroactive effect, if it would interfere with vested rights. Thus, where a county road was dedicated and unopened for five years prior to the 1909 proviso and was not annexed into a city during said five year period, the right of abutting property owners to the vacated road vested and is unaffected by the proviso. On the other hand, where the five-year period had not run by the time of the 1909 proviso, the abutting property owner did not have a vested right and the proviso “saved” the unopened road from automatic vacation.

(4) Although the nonuser statute applies without regard to the City’s street vacation process under Ch. 35.79 RCW, property owners who abut a street vacated under the nonuser statute may nonetheless apply to the City to “formally” vacate the street by ordinance. Abutting property owners may use this method to clear title to right-of-way vacated under the nonuser statute rather than filing a quiet title action in Superior Court, which can be more costly and cumbersome than the street vacation ordinance process. Accordingly, the City will consider petitions to formally vacate streets or alleys that have been vacated by operation of the nonuser statute, if said streets or alleys were dedicated and unopened as county roads for five years prior to the 1909 proviso and if the City has not acquired said streets or alleys by prescription /adverse possession, purchase, eminent domain, or other means. The burden shall be on the property owner requesting vacation to provide all necessary title and historical information to the City to demonstrate that the nonuser statute operates to vacate the subject property.

11.48.080 Public Hearing Notice – Fifty Percent Objection.

(1) Upon the passage of the resolution referenced in SMC 11.48.050 the City Clerk shall give twenty days’ notice of the pendency of the petition by a written notice posted in three of the most public places in the City and a like notice in a conspicuous place on the street or alley sought to be vacated. The said notice shall contain a statement that a petition has been filed to vacate the street or alley described in the notice, together with a statement of the time and place fixed for the hearing of the petition. In all cases

where the proceeding is initiated by resolution of the City without a petition having been signed by the owners of more than two-thirds of the property abutting upon the part of the street or alley sought to be vacated, in addition to notice hereinabove required, there shall be given by mail at least fifteen days before the date fixed for the hearing, a similar notice to the owners or reputed owners of all lots, tracts, or parcels of land or other property abutting upon any street or alley or any part thereof sought to be vacated, or within 300 feet thereof, as shown on the rolls of the County Treasurer, directed to the addresses thereon shown. Failure to send notice by mail to any such property owner where the current address of such property owner is not a matter of public record shall not invalidate any proceedings in connection with the proposed street vacation. The costs of the notice shall be borne by the applicant.

(2) In all cases, the City shall be prohibited from proceeding further with the street vacation process, if fifty percent or more of the abutting property owners file written objection to the proposed vacation with the City Clerk prior to the time of hearing.

11.48.090 Appraisal – Survey – Fees.

(1) In all cases where the City Council requires compensation for the vacated right-of-way, except for those cases where compensation is waived pursuant to SMC 11.48.040(3), an appraisal of the right-of-way proposed for vacation shall be made. Said appraisal shall be by a professional appraiser selected by the City unless otherwise determined by the Public Works Director. The cost of the appraisal shall be borne by the applicant.

The petitioner may select the appraiser of their choice as follows:

- (a) either from a list of appraisers approved by the City, or
- (b) by selecting a Washington State Certified and licensed Real Estate Appraiser who is familiar with the local market conditions and with a reputation for respecting the rules and regulations applicable to appraisers. The petitioner must submit the Appraisers name and credentials to the City and receive prior written approval by the Public Works Director.

(2) Petition Denial for nonpayment of fee or Failure to submit appraisal.

(3) The petitioners shall provide to the City an accurate professional survey of the property proposed for vacation with the boundaries of the proposed vacation marked upon the ground and an accurate legal description by a licensed surveyor at the applicant's expense.

Pursuant to SMC 11.48.020(2), no action shall take place on the Petition until fees have been paid in full. Therefore, if the application fee is not paid by the petitioner, the professional survey, legal description, and the appraisal is not received by the City within twelve (12) months of the petition filing date, the petition will be denied and the petitioner/applicant/ owner will be required to re-apply and pay a new filing fee.

11.48.100 Granting Criteria.

(1) The City Council shall not vacate any street, alley, or any parts thereof, if any portion thereof abuts a body of saltwater or freshwater, unless such vacation is sought to enable the City or State to acquire the property for port purposes, boat moorage or launching sites, park, viewpoint, recreational, or educational purposes, or other public uses and unless the requirements of RCW 35.79.030 and this chapter are complied with.

(2) The City Council shall use the following criteria for deciding upon all street vacation petitions:

- (a) That the vacation will provide a public benefit, and/or will be for a public purpose, which public benefit may consist of economic and business support derived by the community from the petitioners;
- (b) That the right-of-way vacation shall not adversely affect the street pattern or circulation of the immediate area or the community as a whole;
- (c) That the public need shall not be adversely affected;
- (d) That the right-of-way is not contemplated or needed for future public use;
- (e) That no abutting owner becomes landlocked or its access will not be substantially impaired; i.e., there must be an alternative motive ingress and egress, even if less convenient; and
- (f) That provision has been made for utility easements, when needed for the right to construct, repair, and maintain public utility facilities.

11.48.110 Right to Reserve Easements.

(1) The City Council may, at the time of its public hearing, determine that the City may retain an easement or right to exercise and grant easements in respect to the vacated land for:

- (a) The construction, repair, and maintenance of public utilities and services;
- (b) Public utilities and services;
- (c) Pedestrian trail purposes; and
- (d) Any other type of easement relating to the city's right to control, use and manage rights-of-way.

11.48.120 Vacation Ordinance.

If the City Council determines to grant such petition, or any part thereof, the Council shall authorize by ordinance the vacation of such street or alley, or any part thereof. Such ordinance may provide for the retention by the City of all easements or rights in respect to the vacated land for the construction or repair

and maintenance of public utilities and services. If the City Council determines that compensation shall be paid as a condition of the vacation, then the ordinance shall not be published or become effective until all compensation and fees and costs have been paid in full by the petitioners and all conditions imposed by the City Council have been complied with. When there are multiple properties which are adjacent to right-of-way which is petitioned for vacation, any one or more of the applicants may pay the total compensation, fees and costs in order to complete the vacation and to cause the ordinance to be published and become effective. Such payment shall not affect the vacated right-of-way vesting to the adjacent property owner. If the compensation is not paid and the conditions are not complied with within one year from adoption of the ordinance, then the ordinance shall be void unless the one year period is extended by ordinance of the City Council.

11.48.130 Notice of Action to Auditor and Appraiser.

A certified copy of the ordinance vacating any such street or alley, or part thereof, shall be filed with the Snohomish County Auditor's Office. Following the recording of the ordinance, a certified copy shall be sent to the Snohomish County Treasurer's Office.

11.48.140 Use of Proceeds of Vacation.

One-half of the revenue received by the City as compensation for area vacated under this chapter shall be dedicated to the acquisition, improvement, development, and related maintenance of public open space or transportation capital projects within the City.

11.48.150 Title to Vacated Street or Alley.

(1) Pursuant to RCW 35.79.040, and regardless of who pays the compensation, fees and expenses of vacation, vacated streets, or alleys shall belong to the abutting property owners, one-half to each, provided that:

- (a) When only part of the street or alley is requested to be vacated, only that portion of the adjacent right-of-way up to the center line shall belong to the abutting owner; or
- (b) When the street or alley requested to be vacated is wholly contained within a subdivision and is part of the boundary of the subdivision, the entire street shall belong to the owner or owners of the property within the vacated subdivision, in compliance with RCW 58.17.212; or
- (c) When dictated by the particular circumstances of the situation, ownership of the underlying fee of a street or alley may be allocated by the City as equally and fairly as possible.

(2) The ownership of the vacated street or alley shall be set forth in the street vacation ordinance in accordance with SMC 11.48.150(1).

Section 2. SMC 17.81A and 17.81B is hereby amended to read as follows:

SMC 17.81A – Procedures

Table 17.81A-I: Classification of Permit and Decisions

Type of Application	Public Comment Notice Period	Pre-Application Meeting	Public Meeting/ Recommendation	Open Record Hearing	Decision	Open Record Appeal	Closed Record Appeal	Non-City or Judicial Appeal
Type V:								
Comprehensive plan amendment	NOA 10-day NOH	None	Yes	PC++	PC Recommendation **10-day NOH	No	No	Yes
Development regulations amendments	10-day NOH	None	No	PC++	PC recommendation** CC decision**	No	No	Yes
Annexation	15-day NOA 10-day NOH	CDD, CE	No	CC/SC BRB	CC/SCBRB	No	No	Yes
Final plat	No	No	No	No	CC	No	No	Yes
Right of Way Vacation Vacations of Streets and Alleys	10-day NOH	CE	No	CC	CC Committee recommendation CC decision	No	No	Yes
Zoning map amendment	10-day NOH	CDD	No	PC	CC	No	No	Yes

SMC 17.81B – Types of Land Use Review

17.81B.515 Notice of Application.

~~(4) (d) Additional Requirements – Right of Way Vacation. A written notice giving 20 days' notice of the pendency of the petition for vacation shall be posted in conspicuous place on the street or alley sought to be vacated.~~

17.81B.555 Expiration of Approval.

Approval of the Type IV application, ~~except for right of way vacations,~~ shall expire five years from the date approval was final unless significant action proposed in the application has been physically commenced and remains in progress pursuant to SMC 17.81A.250. ~~Right of way shall expire one year from the date approved, if compensation has not been provided to the city or other conditions have not been met as required in the vacation decision or ordinance.~~

Section 3. Findings of Fact and Conclusions. In support of the amendment approved in this Ordinance the Stanwood City Council adopts the Findings of Fact and Conclusions attached hereto as Exhibit "A" and incorporated herein by reference and the analysis contained in the Staff Report on the amendments.

Section 4. Severability. The various parts, sections and clauses of this ordinance are hereby declared to be severable. If any part, sentence, paragraph, section or clause is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of the Ordinance shall not be affected thereby.

Section 5. Authority to Make Necessary Corrections. The City Clerk and the codifiers of this Ordinance are authorized to make necessary corrections to this Ordinance including, but not limited to, the correction of scrivener's clerical errors, references, ordinance numbers, section/subsection numbers and any references thereto.

Section 6. Conflict. In the event that there is a conflict between the provision of this Ordinance and any other City ordinance, the provision of this Ordinance shall control.

Section 7. Effective Date. This Ordinance shall take effect from and after five (5) days after its passage and publication as required by law.

PASSED AND APPROVED by the Stanwood City Council this 23rd day of April 2019.

CITY OF STANWOOD

Leonard Kelley, Mayor

ATTEST:

By: _____
David Hammond, City Clerk

APPROVED AS TO FORM:

By: _____
Grant Weed, City Attorney

Date of Publication: _____
Effective Date: _____

Exhibit A
Findings of Fact and Conclusions of Law
(To be added after PC Public Hearing)

DRAFT