

1. Agenda

Documents:

[PLANNING COMMISSION AGENDA 3-25-2019.PDF](#)

2. Meeting Materials

Documents:

[297 ZONE WATER RESERVOIR PROJECT.PDF](#)
[PIONEER HIGHWAY AND 72ND STREET INTERCEPTOR SEWER LINE PROJECT.PDF](#)
[WAYFINDING SIGNS DISCUSSION.PDF](#)



PLANNING COMMISSION AGENDA

Monday, March 25, 2019 – 6:30 PM
Stanwood Fire Station (8117 267th Pl NW)

1. Call to Order
2. Roll Call
3. Public Requests and Comments
4. Minutes of March 11, 2019
5. New Business
 - Pioneer Highway and 72nd Street Interceptor Sewer Line Project
 - 297 Zone Water Reservoir Project
 - Wayfinding Signs Discussion
6. Old Business
7. Miscellaneous Business
8. Public Comments
9. Recent Council Action on Commission Items
10. Upcoming Items
11. Adjourn

For information about this agenda, contact the Community Development Department at 360-629-2181 ext. 5211.

SPECIAL ACCOMMODATIONS: The City of Stanwood strives to provide accessible meetings for people with disabilities. Please contact the Planning Commission Clerk at 360-629-2181 ext. 5211 two business days prior to the meeting.



MEMORANDUM

City of Stanwood
10220 270th St NW
Stanwood, WA 98292
360-629-2181

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNING COMMISSION

FROM: Amy Rusko, Senior Planner

SUBJECT: Public Meeting – 297 Zone Reservoir

DATE: March 25, 2019

ATTACHMENT: A. Vicinity Map
B. Site Plan

Request:

The City of Stanwood Public Works Department is requesting major site development approval for the installation of a new water reservoir. The project will remove an existing 200,000 gallon concrete reservoir and construct a new 1.5 million gallon reservoir in its place. The new reservoir will be steel to match the other reservoir on the same site. The purpose of the project is to upgrade the current water storage capacity for the city's customers. An emergency generator will be installed for power back-up. The project will take place on the existing city reservoir site located at 7620 278th Place NW.

Procedural Information:

The project as proposed is considered a Major Site Development and will be processed as a Type II permit application. The process requires public notice in the newspaper, posting the site, and mailing to property owners within 300-feet. Proper notification has occurred. The Community Development Director will render a decision on this project once all code requirements have been met.

Stanwood Municipal Code 17.80.033 states the community development department shall apprise the planning commission of the general intent of a project of this type and collect comments from the commission members. These comments will be considered by the Community Development Director prior to issuing a decision.

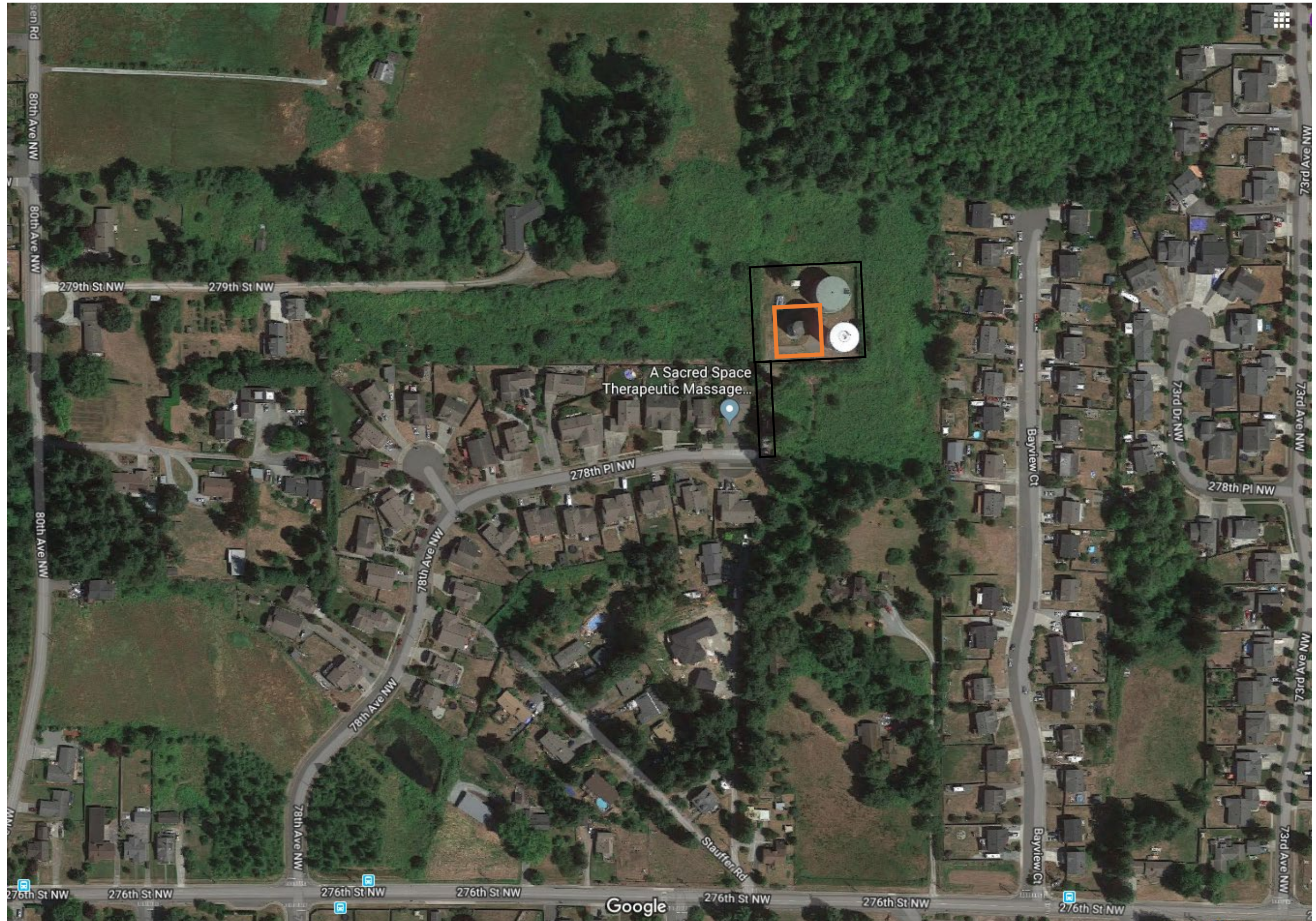
Project Details:

The property is designated as Single Family Residential 9.6 (SR 9.6) on the Zoning Map and Low Density Residential (LDR) on the Future Land Use Map. The neighboring properties have the same designations. The project is located on approximately .94 acres and the current site of the city's water reservoirs and elevated tank. Approximately 10,000 square feet or $\frac{1}{4}$ of the site will be disturbed for this project.

The application was submitted on February 25, 2019 and deemed to be complete. The Notice of Application, SEPA DNS Notice and Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on March 12, 2019. The Notice of Application comment period ends on March 27, 2019.

Public Comments:

To date the project has received no public or agency comments.

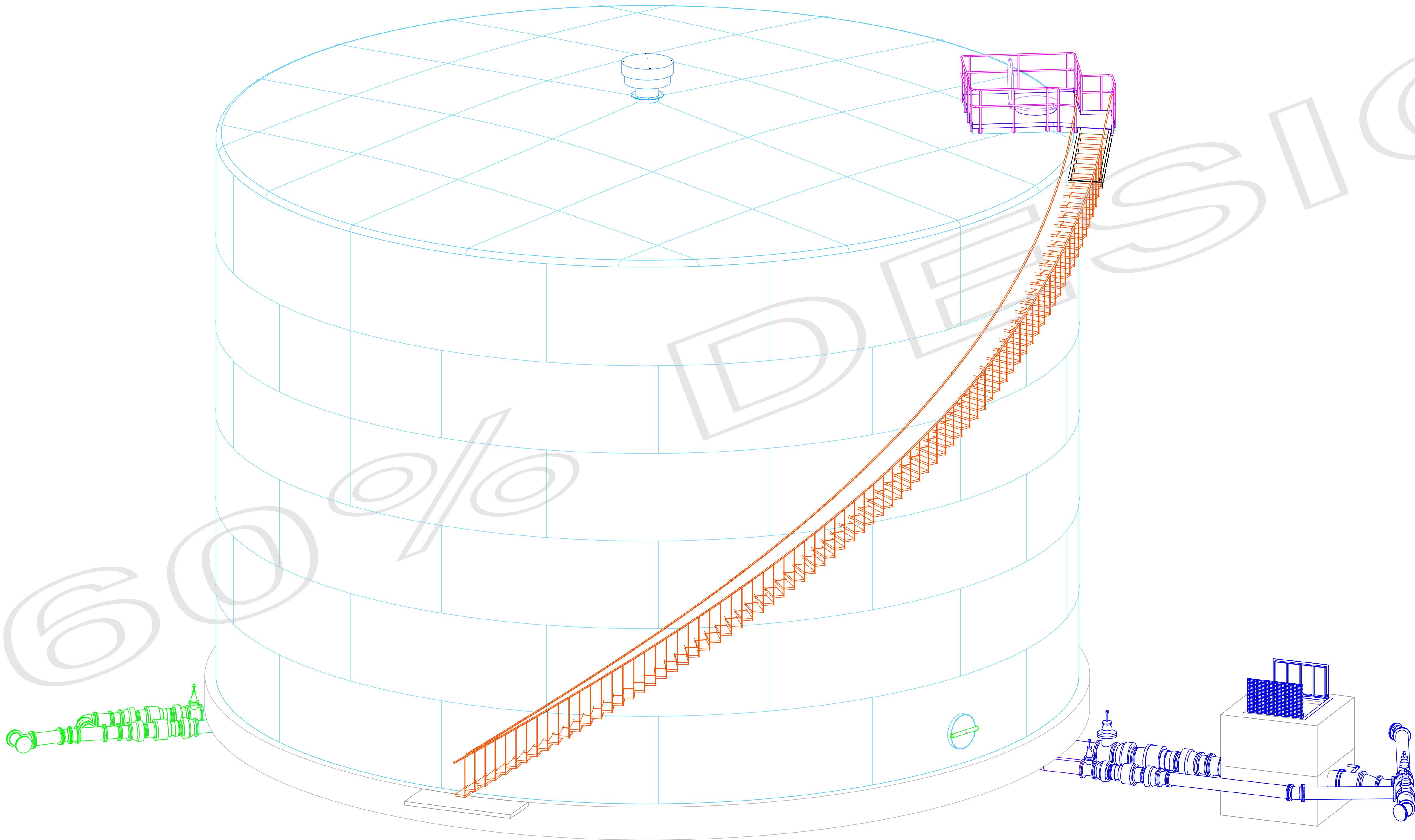




CITY OF STANWOOD

297 ZONE RESERVOIR DESIGN

SUMMER 2019



RESERVOIR OBLIQUE

DRAWING INDEX

SHEET NO.	SHEET TITLE	DWG NO.
-	COVER	COV
1	GENERAL NOTES AND INFORMATION	G01
2	STORMWATER POLLUTION PREVENTION PLAN	G02
3	EXISTING SITE PLAN	C01
4	CONSTRUCTION GRADING, DEMOLITION AND TESC PLAN	C02
5	CONSTRUCTION AND TESC DETAILS	C03
6	PROPOSED SITE GRADING PLAN	C04
7	PROPOSED SITE UTILITY PLAN	C05
8	SITE AND UTILITY DETAILS I	C06
9	SITE AND UTILITY DETAILS II	C07
10	SITE AND UTILITY DETAILS III	C08
11	LANDSCAPING PLAN	L01
12	LANDSCAPING NOTES AND DETAILS	L02
13	LANDSCAPING DETAILS	L03
14	STRUCTURAL GENERAL NOTES	S01
15	RESERVOIR FLOOR PLAN AND ROOF FRAMING PLAN	S02
16	RESERVOIR ELEVATION AND DETAILS	S03
17	RESERVOIR ROOF ACCESS DETAILS	S04
18	STRUCTURAL DETAILS I	S05
19	STRUCTURAL DETAILS II	S06
20	MECHANICAL PLAN	M01
21	MECHANICAL DETAILS I	M02
22	MECHANICAL DETAILS II	M03
23	MECHANICAL DETAILS III	M04

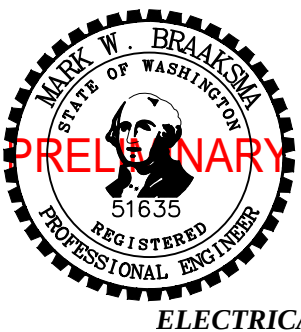
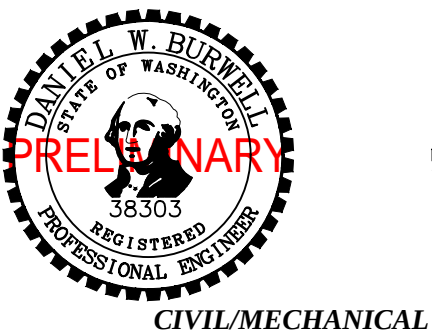
INDICATES ITEMS NOT INCLUDED IN THE 60-PERCENT SUBMITTAL BUT WILL BE PROVIDED AT 90-PERCENT. ELECTRICAL RELATED PLANS WILL BE INCLUDED AT 90-PERCENT AND ARE NOT SHOWN HERE.

CONTACT PERSONNEL

CONTACT	AGENCY	PHONE
KEVIN HUSHAGEN (PUBLIC WORKS DIRECTOR)	CITY OF STANWOOD	360.629.9782
SHAWN SMITH, P.E. (CITY ENGINEER)	CITY OF STANWOOD	360.629.9781x9
GINA SEEGER (MAINTENANCE SUPERVISOR)	CITY OF STANWOOD	425.508.7829
XXX	XXX	XXX-XXXX

CALL 48 HOURS BEFORE YOU DIG
ONE CALL 811

REPORT ALL SPILLS
DEPT. OF ECOLOGY 1-800-258-5990



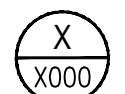
GENERAL NOTES

1. ALL WORKMANSHIP, CONSTRUCTION AND MATERIALS SHALL BE PERFORMED OR SUPPLIED IN ACCORDANCE WITH THE SPECIAL PROVISIONS, PLANS, CITY OF STANWOOD STREET AND UTILITY STANDARDS AND STANDARD DETAILS AND THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, CURRENT EDITION, AS ISSUED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION, WHICH IS HEREINAFTER REFERRED TO AS THE STANDARD SPECIFICATIONS.
2. A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO CONSTRUCTION AND 48 HOURS ADVANCE NOTIFICATION PRIOR TO ACTUAL START OF WORK IS REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
4. A LICENSED ENGINEERING OR SURVEYING FIRM SHALL STAKE ALL VERTICAL AND/OR HORIZONTAL ALIGNMENT.
5. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK TO AVOID DAMAGE OR DISTURBANCE, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES. IT IS UNDERSTOOD THAT OTHER ABOVE GROUND AND UNDERGROUND FACILITIES NOT SHOWN ON THE PLANS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK.
6. THE CONTRACTOR SHALL PROTECT BUILDINGS, FENCES, APPURTENANCES, ABOVE GROUND UTILITIES, AND OTHER PROPERTY ADJACENT TO ALL CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REPAIRING ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
7. IN ACCORDANCE WITH THE DEPARTMENT OF ECOLOGY AIR QUALITY STANDARDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING ALL FUGITIVE DUST THAT MAY BE GENERATED BY THE CONSTRUCTION PROJECT.
8. THE CONTRACTOR SHALL CONTAIN WORK TO WITHIN THE CITY OWNED PARCEL.
9. ONSITE EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND BE IN PLACE PRIOR TO CONSTRUCTION. ANY PROBLEMS OCCURRING BEFORE FINAL ACCEPTANCE BY THE CITY OF STANWOOD SHALL BE CORRECTED BY THE CONTRACTOR. UPON FINAL ACCEPTANCE BY THE CITY OF STANWOOD OR AS OTHERWISE DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY, NON-DEGRADABLE EROSION CONTROL MEASURES.
10. ANY REVISIONS TO PLANS MUST BE APPROVED BY THE CITY OF STANWOOD PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
11. ALL PAVEMENT MARKINGS AND SIGNING SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD. REPLACE ALL MARKINGS AND SIGNING DAMAGED OR REMOVED DUE TO CONSTRUCTION.
12. A COPY OF THE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
13. FORM AND SUBGRADE INSPECTION BY THE CITY IS REQUIRED BEFORE POURING CONCRETE. FORTY-EIGHT HOURS NOTICE IS REQUIRED FOR FORM INSPECTION.
14. CONTRACTOR SHALL COORDINATE WITH RESIDENTS, TENANTS AND BUSINESS OPERATORS OF CONSTRUCTION ACTIVITIES THAT AFFECT DRIVEWAYS, ACCESS, MAILBOX RELOCATION, LANDSCAPING REMOVAL AND/OR OPERATIONS OF THE RESPECTIVE RESIDENTS, TENANTS AND BUSINESS OPERATORS. COORDINATION MAY INCLUDE, BUT IS NOT LIMITED TO, USING DOOR HANGERS, IN PERSON CONTACT, AND/OR PRINTED NOTICES.

SECTION AND DETAIL REFERENCES

THE FOLLOWING CONVENTIONS HAVE BEEN USED WITHIN THESE DRAWINGS TO REFER THE READER BETWEEN THE SECTION/DETAIL AND THE PLAN FROM WHICH IT IS REFERENCED.

REFERENCE BUBBLES



PLAN REFERENCE BUBBLE - REFERS READER BACK TO THE PLAN FROM WHICH THE DETAIL OF SECTION ORIGINATED.



DETAIL/SECTION REFERENCE BUBBLE - REFERS READER TO THE DRAWING ON WHICH THE
DETAIL OR SECTION IS LOCATED.

WHERE, ID = SECTION/DETAIL REFERENCE NUMBER
= DRAWING NUMBER ON WHICH DETAIL ORIGINATED OR RESIDES.

SECTION/DETAIL REFERENCE NUMBER CONVENTIONS:
SECTIONS OR ELEVATIONS SHOULD HAVE A LETTER REFERENCE NUMBER
(A THROUGH ZZ).

SURVEY NOTES

SURVEY HAS BEEN OBTAINED FROM MULTIPLE SOURCES. THE MAJORITY OF THE SURVEY WAS OBTAINED DURING THE DESIGN OF THE CEDARHOM 0.55 MG ELEVATED RESERVOIR. IN ADDITION TO THE SURVEY PERFORMED BY TOUMA ENGINEERS & SURVEYORS CONSTRUCTION RECORDS AFTER COMPLETION OF THE ELEVATED RESERVOIR HAVE BEEN INCLUDED BY RH2. CONTRACTOR SHALL CONFIRM THE STATUS OF ALL IMPACTED BY CONSTRUCTION WHETHER THEY ARE LISTED AS ABANDONED, REMOVED OR IN SERVICE.

DATE OF SURVEY: FEBRUARY 2005
ORIGINAL SURVEY COMPLETED BY: TOUMA ENGINEERS & SURVEYORS
INSTRUMENT: TOPCON GPT-3000W TOTAL STATION DTMA10LG
METHOD USED: FIELD TRAVERSE WITH ACTUAL FIELD MEASUREMENTS AND ANGLES WAC
332-130-090

HORIZONTAL CONTROL:

VERTICAL CONTROL:
NGVD 1929/47

BASIS OF BEARING:
EAST LINE OF SECTION OF THE NW 1/4 OF SECTION 20-32N-4E (N 00°37'49"E) 68th AVE NW

BENCHMARK:
RR SPIKE AT THE NW CORNER OF 80th DRIVE NW & 276th STREET NW. HORTON DENNIS ASSOC. JOB
NUMBER 9175.00. ELEVATION = 145.79' (NGVD 1929/47)

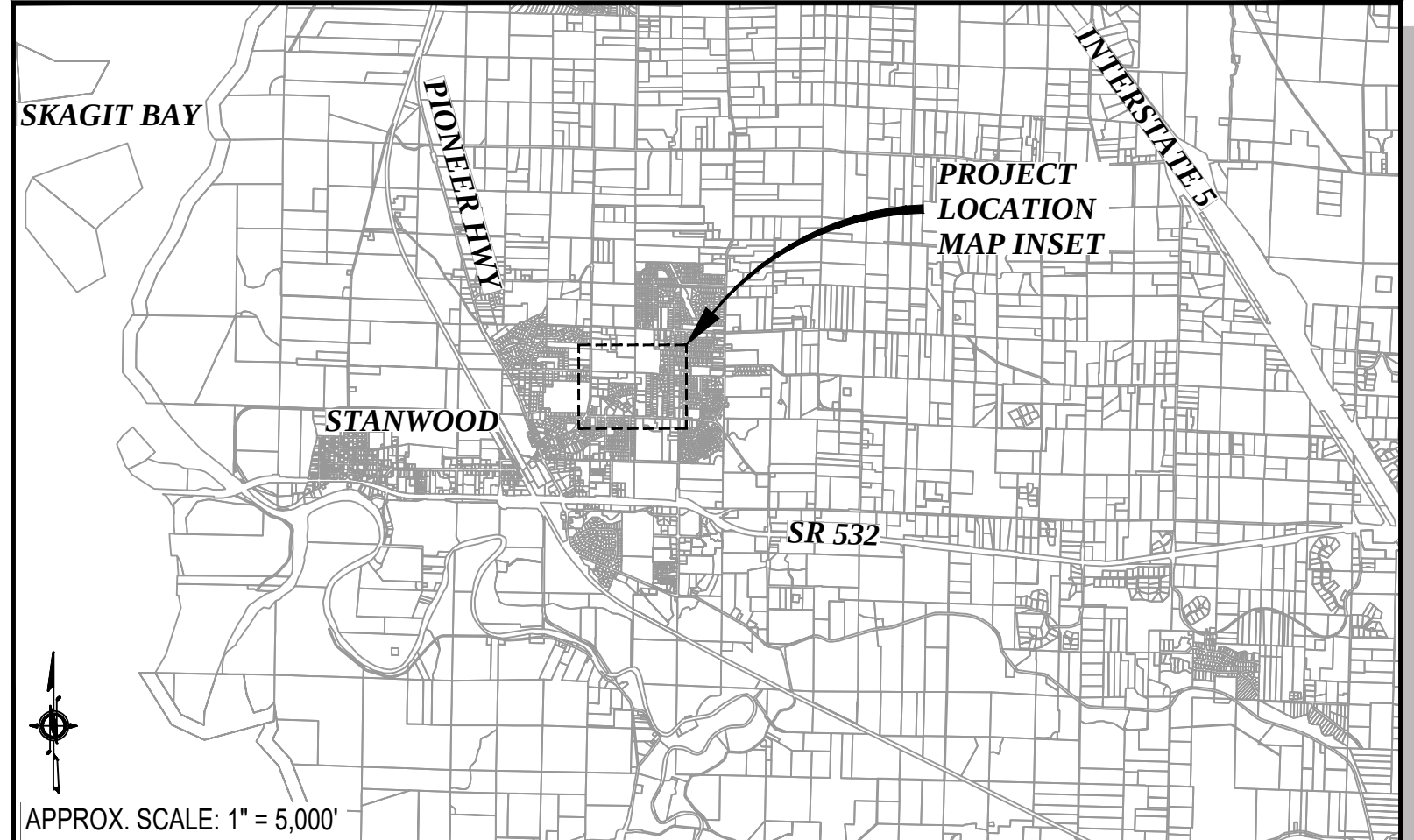
NOTE: ELEVATION WAS USED ON PRIOR JOB FOR RH2 KNITTLE RESERVOIR

CONVERSION: APPLY A CONVERSION FACTOR OF -7.5 FEET TO
PRELIMINARY PLAT OF SUN RISE MEADOWS BY
LOVELL-SAUERLUND & ASSOC, INC. JOB # 4539-0-03

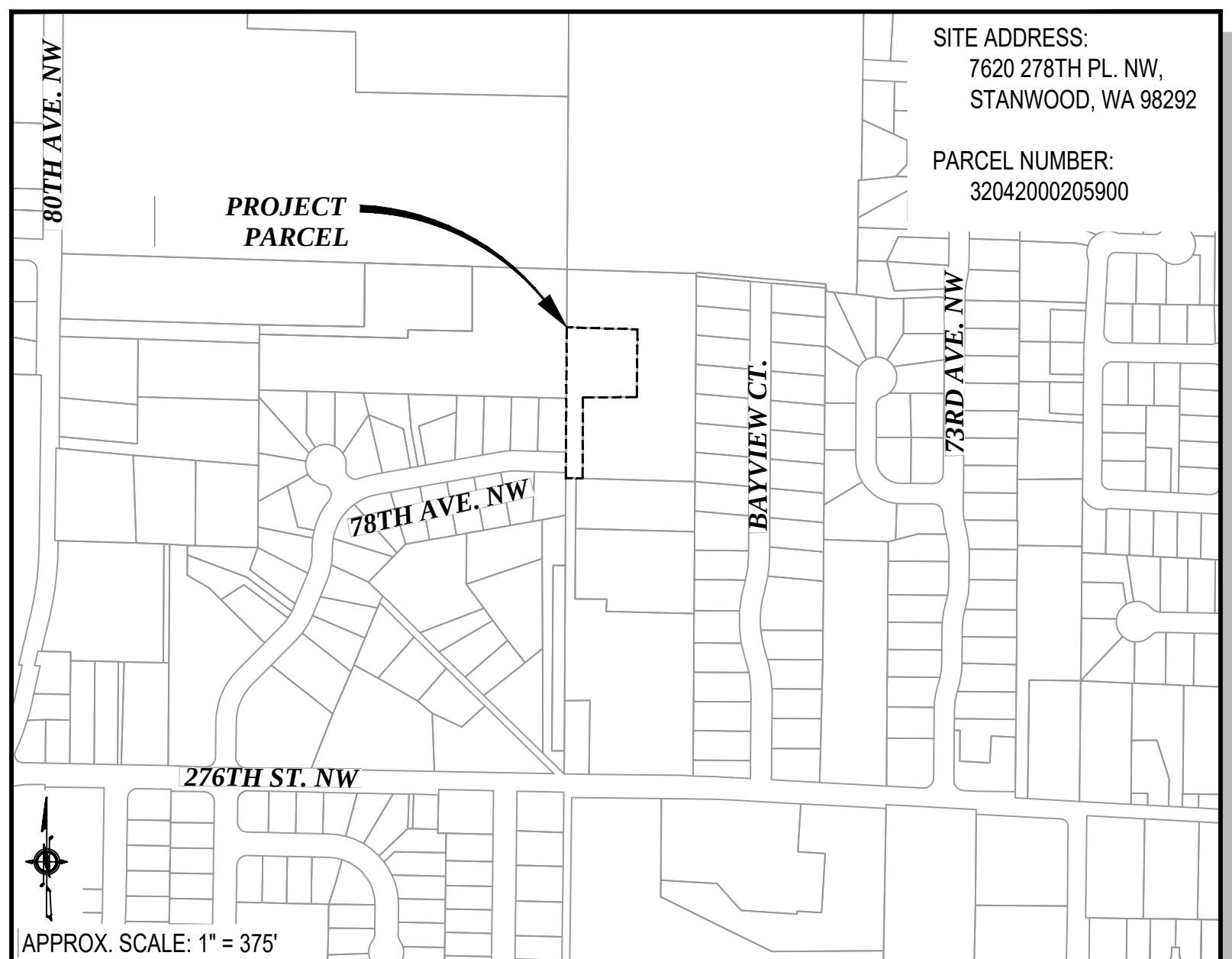
ABBREVIATIONS

CB	CATCH BASIN	PROP	PROPOSED
COMM	COMMUNICATIONS	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RT	RIGHT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CPEP	CORRUGATED POLYETHYLENE	SPEC	SPECIFICATIONS
CSBC	CRUSHED SURFACING BASE COURSE	SS	STAINLESS STEEL
CSTC	CRUSHED SURFACING TOP COURSE	SSWR	SANITARY SEWER
DIAM	DIAMETER	SSMH	SANITARY SEWER MANHOLE
DI	DUCTILE IRON	SSW	SLIP SOLVENT WELD
DWG	DRAWING	ST	STORM
E	EASTING	SY	SQUARE YARDS
ELEV	ELEVATION	TYP	TYPICAL
EX	EXISTING	W	WATER
LT	LEFT		
LTf	LENGTH TO FIT		
LF	LINEAR FEET		
N	NORTHING		

PROJECT VICINITY MAP



PROJECT LOCATION MAP



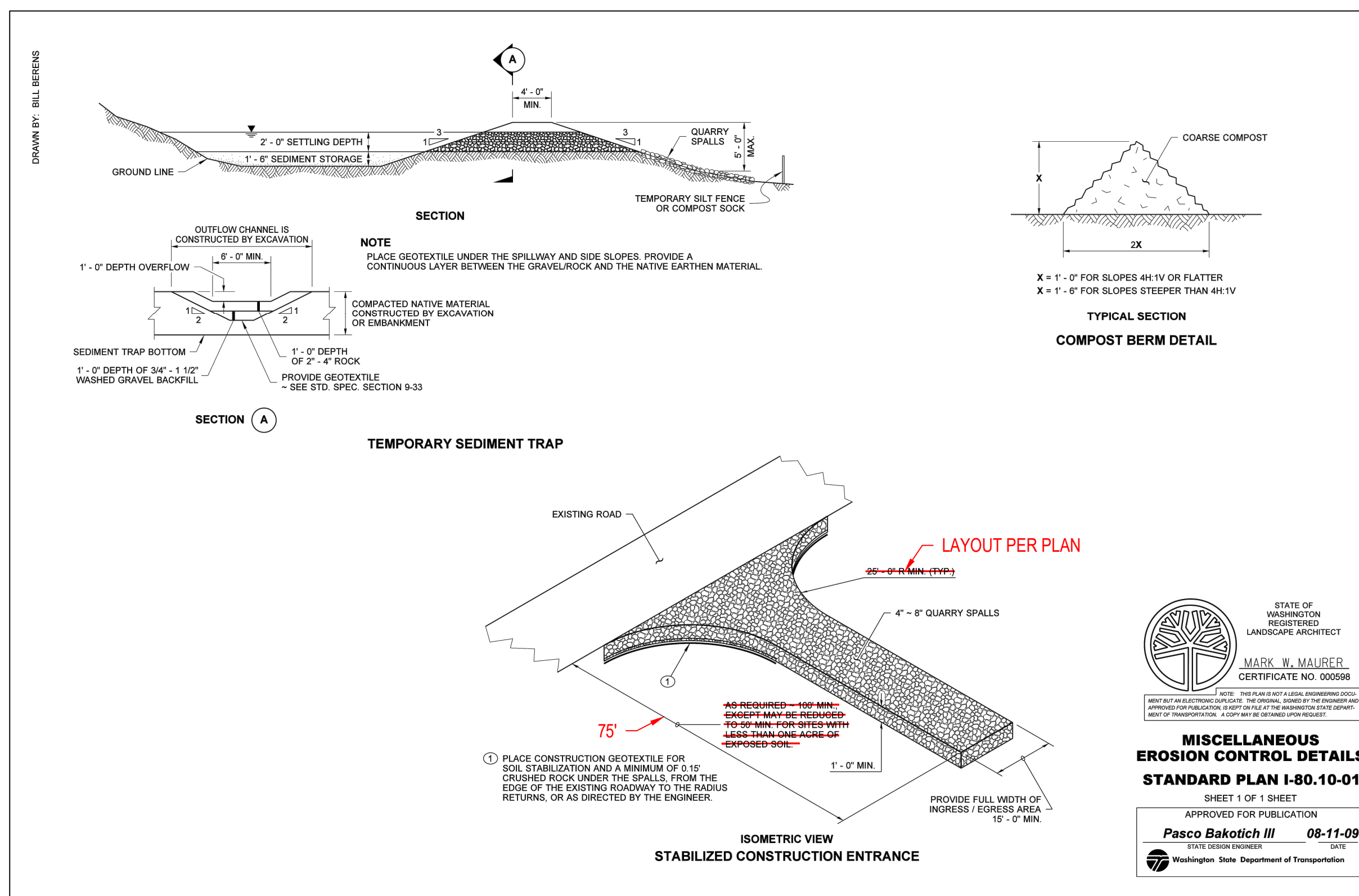
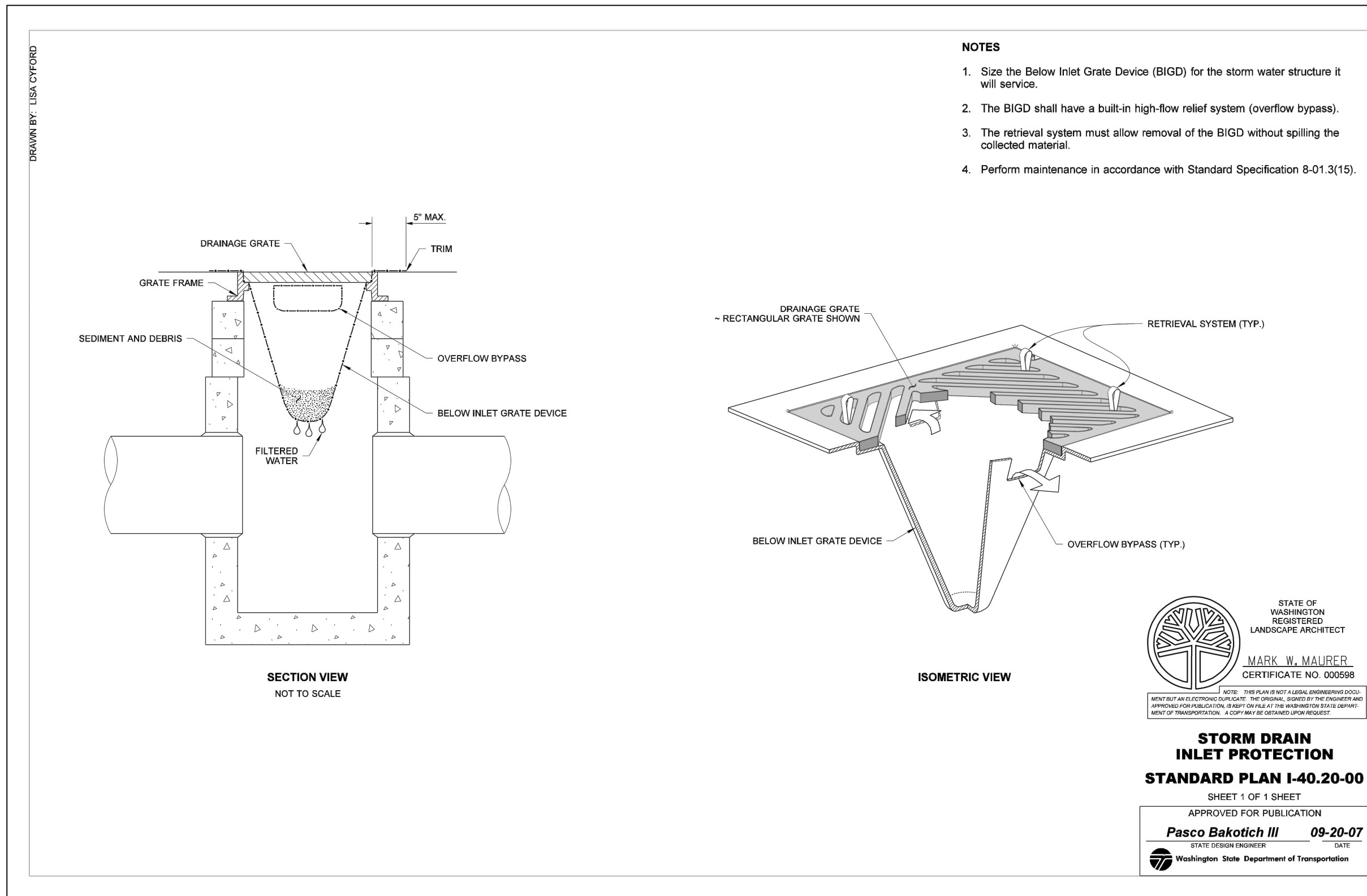
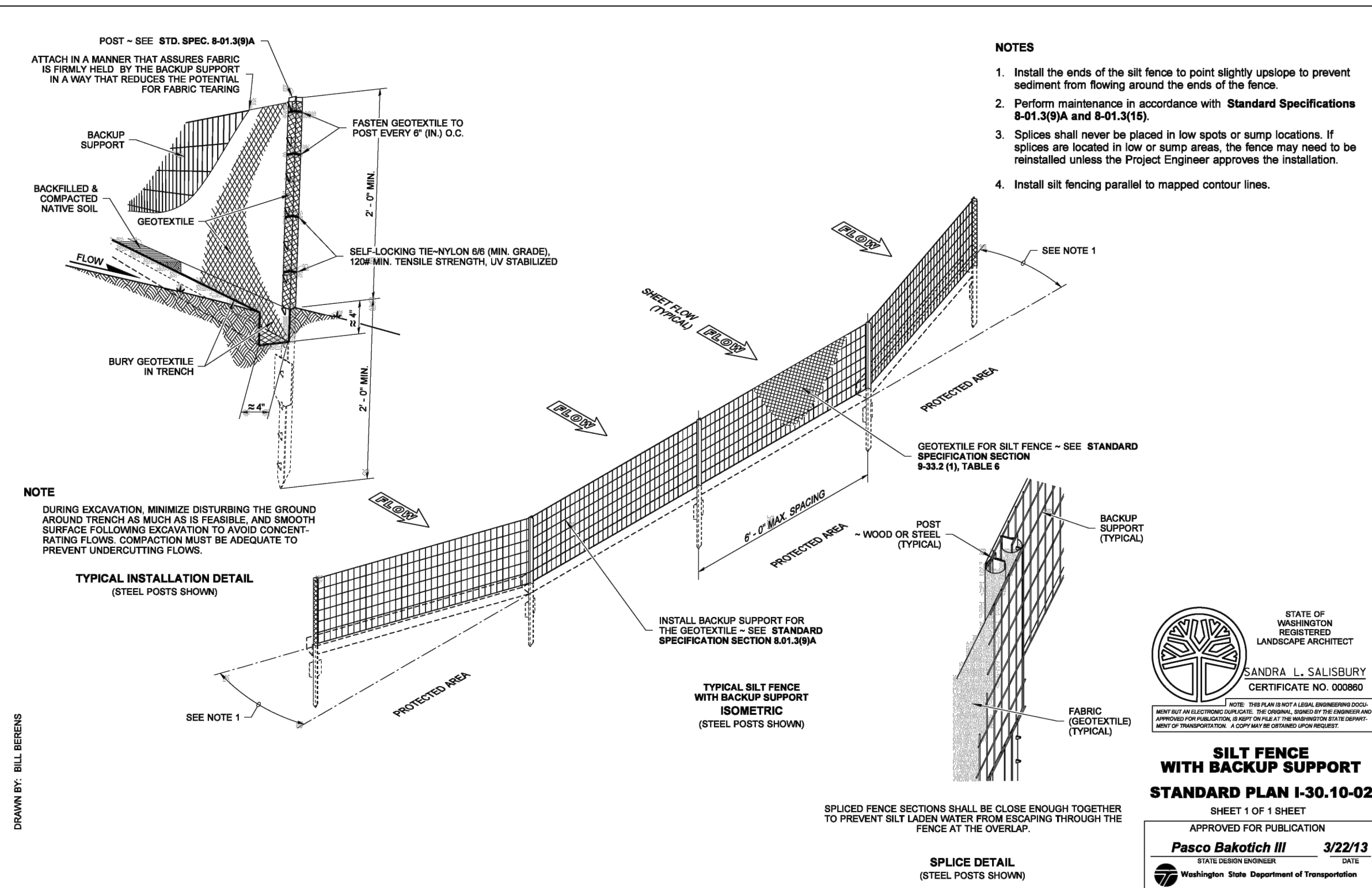
		CITY OF STANWOOD		297 ZONE RESERVOIR DESIGN	
ENGINEER: CMP REVIEWED: DWB	SAVE DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-452		
	PLOT DATE: Jan 31, 2019	FILENAME:	CHR2-D-COV.DWG		
REVIEWS					
No.	Date	Description	By	Review	

SCALE: SHOWN

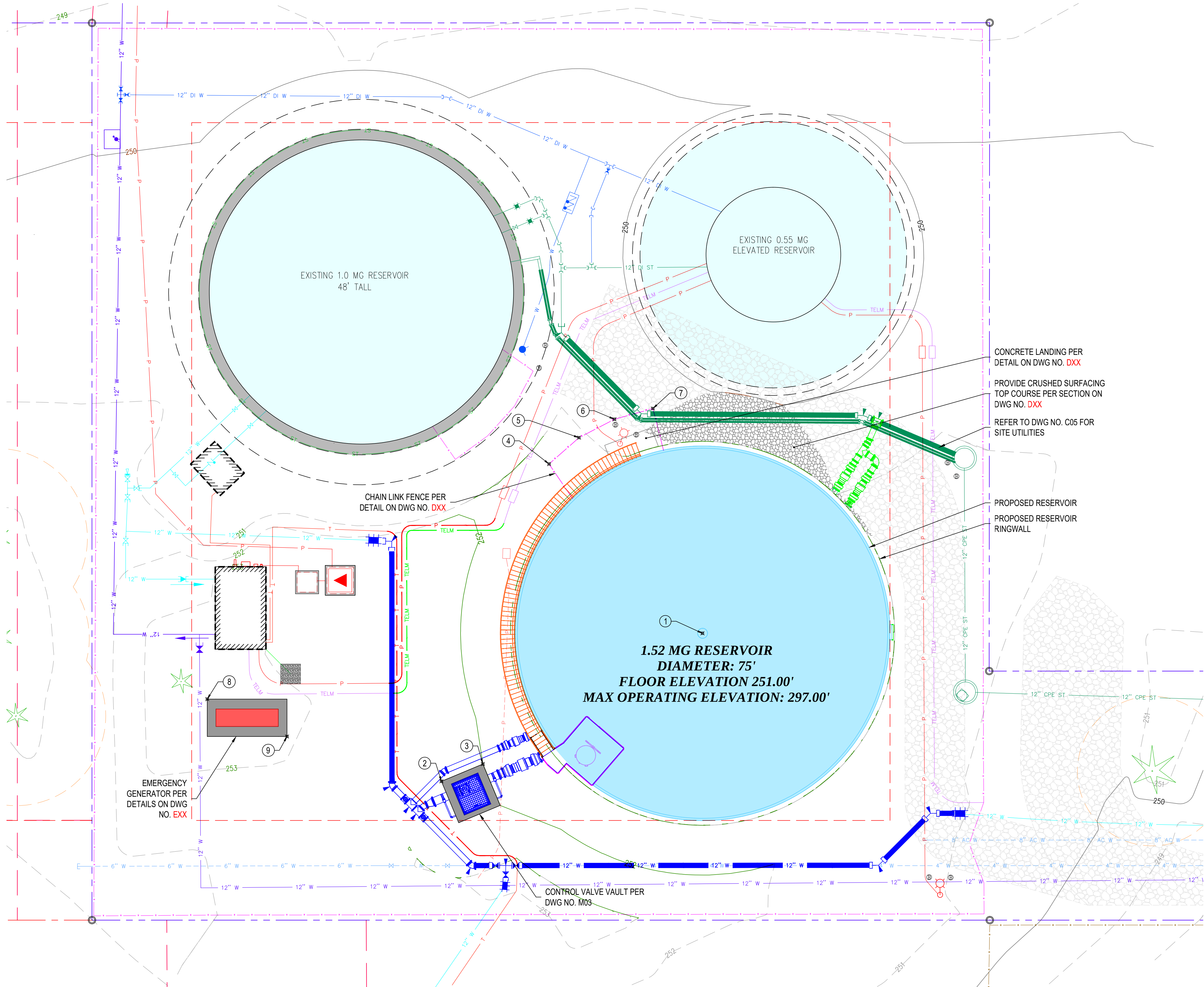


DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

DWG NO. G01	SHEET NO. 1 / 23
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SITE PHOTOS TO BE INCLUDED FOR 90-PERCENT SUBMITTAL



GRADING POINT TABLE				
POINT NO.	DESC.	ELEV.	NORTHING	EASTING
1	TANK CENTER		12381.22	12231.18
2	VAULT CORNER	253.00	12433.72	12201.76
3	VAULT CORNER	253.00	12425.40	12205.19
4	FENCE CORNER		12411.81	12265.30
5	FENCE CORNER		12405.78	12270.56
6	FENCE CORNER	12398.65		12274.21
7	FENCE CORNER	12390.93		12276.33
8	GENERATOR PAD	253.00	12480.60	12218.50
9	GENERATOR PAD	253.00	12464.64	12210.91

NOTE: POINT TABLE TO BE UPDATED AT 90-PERCENT SUBMITTAL TO INCLUDE SIGNIFICANT ELEVATION POINT AND OTHER SITE UTILITIES.

RH2

ENGINEERING

40 YEARS

SINCE 1978

BELLINGHAM, WA

4164 Meridian Street, Suite 302

www.rh2.com 1.800.720.8052

DANIEL W. BURDETTE

STATE OF WASHINGTON

36752

REGISTERED PROFESSIONAL ENGINEER

DANIEL W. BURDETTE

STATE OF WASHINGTON

36303

REGISTERED PROFESSIONAL ENGINEER

CITY OF STANWOOD

297 ZONE RESERVOIR DESIGN

PROPOSED SITE GRADING PLAN

ENGINEER: CMP

DATE: Jan 31, 2019

CLIENT: STA

JOB NO.: 418-152

REVIEWED: DWG

DATE: Jan 31, 2019

FILENAME: CHR2-D-CV03.DWG

REVISIONS

NO.	DATE	DESCRIPTION	BY	REVIEW

SCALE: SHOWN

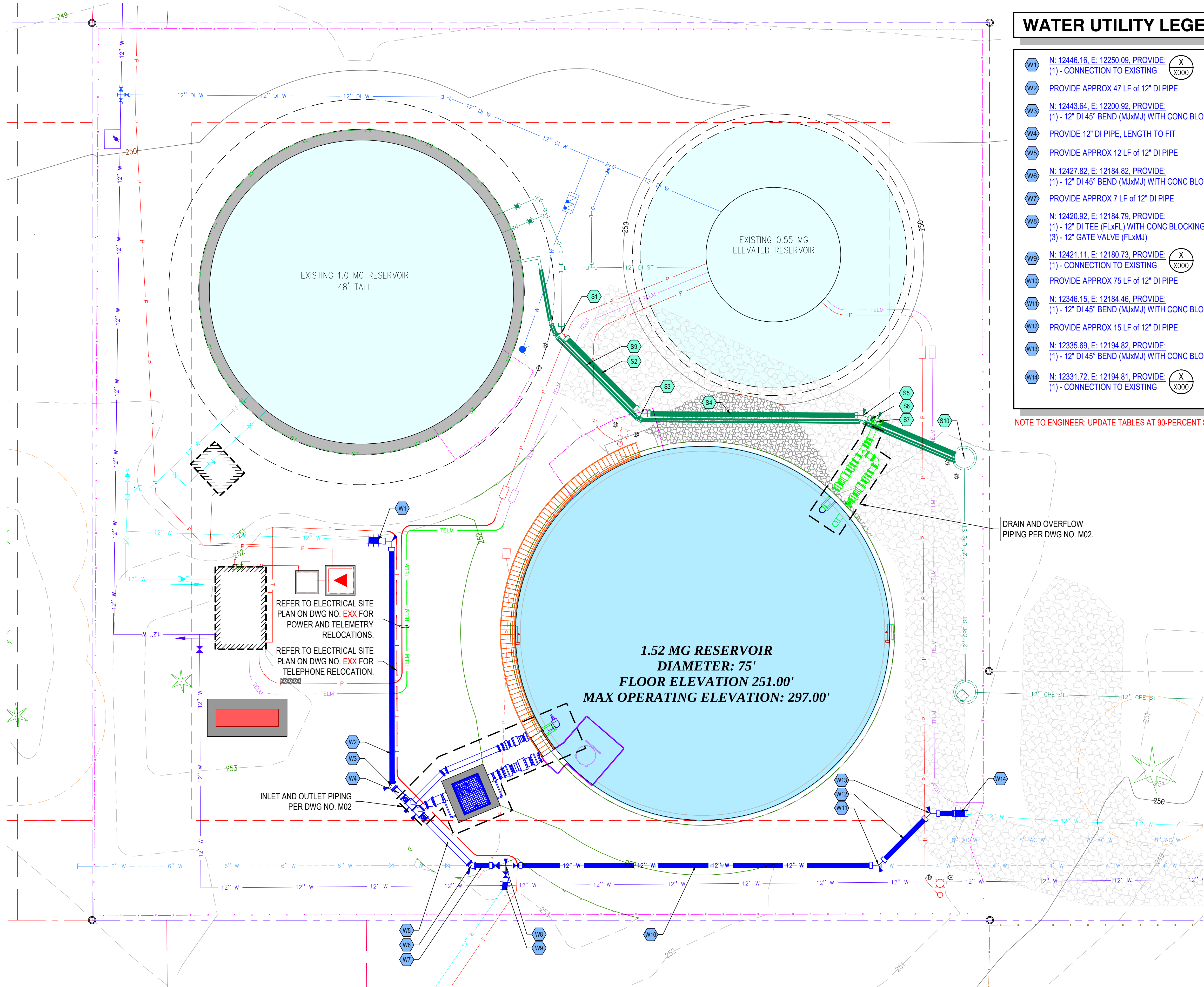
0" 1" 2"

DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

DWG NO.: C04

SHEET NO.: 6

23



WATER UTILITY LEGEND

- W1 N: 12446.16, E: 12250.09, PROVIDE: (1) - CONNECTION TO EXISTING
- W2 PROVIDE APPROX 47 LF of 12" DI PIPE
- W3 N: 12443.64, E: 12200.92, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W4 PROVIDE 12" DI PIPE, LENGTH TO FIT
- W5 PROVIDE APPROX 12 LF of 12" DI PIPE
- W6 N: 12427.82, E: 12184.82, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W7 PROVIDE APPROX 7 LF of 12" DI PIPE
- W8 N: 12420.92, E: 12184.79, PROVIDE: (1) - 12" DI TEE (FLxFL) WITH CONC BLOCKING (3) - 12" GATE VALVE (FLxMJ)
- W9 N: 12421.11, E: 12180.73, PROVIDE: (1) - CONNECTION TO EXISTING
- W10 PROVIDE APPROX 75 LF of 12" DI PIPE
- W11 N: 12346.15, E: 12184.46, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W12 PROVIDE APPROX 15 LF of 12" DI PIPE
- W13 N: 12335.69, E: 12194.82, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- W14 N: 12331.72, E: 12194.81, PROVIDE: (1) - CONNECTION TO EXISTING

STORM UTILITY LEGEND

- S1 N: 12409.19, E: 12291.63, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- S2 PROVIDE APPROX 23 LF of 12" DI PIPE
- S3 N: 12393.25, E: 12275.28, PROVIDE: (1) - 12" DI 45° BEND (MJxMJ) WITH CONC BLOCKING
- S4 PROVIDE APPROX 44 LF of 12" DI PIPE
- S5 N: 12348.77, E: 12274.72, PROVIDE: (1) - 12" DI 22-1/2° BEND (MJxMJ) WITH CONC BLOCKING
- S6 PROVIDE 12" DI PIPE, LENGTH TO FIT
- S7 N: 12345.97, E: 12273.52, PROVIDE: (1) - 12" DI TEE (MJxMJ) WITH CONC BLOCKING
- S8 PROVIDE APPROX 16 LF of 12" DI PIPE
- S9 PROVIDE APPROX 206 LF of 4" SCH 40 PVC PIPE AND ANY NECESSARY FITTINGS TO RELOCATE THE EXISTING FOUNDATION DRAINS. ROUTE PVC PARALLEL TO DRAIN AND OVERFLOW LINE.
- S10 N: 12328.53, E: 12266.04, PROVIDE: (1) - STORM AIR GAP MANHOLE

SITE UTILITY LEGEND

- 1170- MAJOR CONTOUR
- 1171- MINOR CONTOUR
- RESERVOIR
- RESERVOIR FOOTING
- STORM LINE
- STORM FITTING
- WATER MAIN
- WATER FITTING
- VAULT
- VAULT HATCH

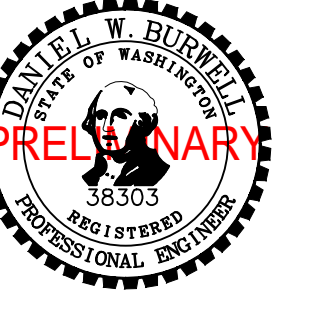
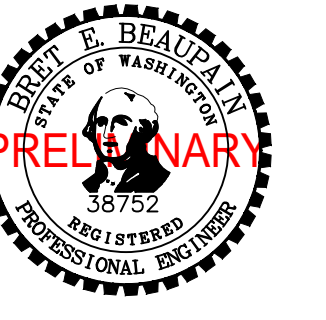
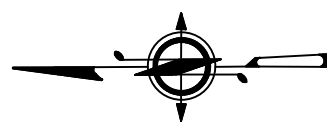
NOTE TO ENGINEER: UPDATE TABLES AT 90-PERCENT SUBMITTAL

DRAIN AND OVERFLOW PIPING PER DWG NO. M02.

NOTE TO ENGINEER: VERIFY NORTHINGS AND EASTINGS ARE ACCURATE AND ARE REFERENCING THE CORRECT DATUM.

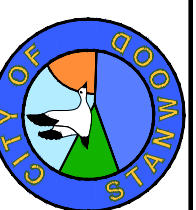
PROPOSED SITE UTILITY PLAN

1" = 10'



CITY OF STANWOOD 297 ZONE RESERVOIR DESIGN

PROPOSED SITE UTILITY PLAN



REVISIONS				NO.	DATE	DESCRIPTION	BY	REVIEW
ENGINEER	COMP	DATE	STA					
REVIEWED	DWG	Jan 31, 2019	FILENAME: CHR2-DV04.DWG					

MINIMUM FROST DEPTH	18"
MAXIMUM SOIL BEARING CAPACITY:	2,000 PSF
SOILS REPORT REFERENCE	"ENGINEERING GEOLOGY REPORT" PREPARED BY RH2 ENGINEERING

WIND LOAD	105 MPH, EXPOSURE C
SNOW LOAD	25 PSF
EARTHQUAKE LOAD	LAT 47.825, LONG 122.274, SOIL PROFILE TYPE C

OCCUPANCY CATEGORY	III, WASTE WATER FACILITY
CONCRETE	4,000 PSI WITH 60,000 PSI REINFORCING
CMU	1,500 PSI WITH 60,000 PSI REINFORCING
STEEL	A36 FOR PLATES, A992 FOR OTHER

ROOF 20 PSF

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2012 EDITION)

SPECIAL INSPECTIONS AND TESTS SHALL INCLUDE THE FOLLOWING. REFER TO IBC SECTION 1704 AND 1705 FOR DETAILS.

1. SPECIAL INSPECTIONS BY THE GEOTECHNICAL ENGINEER INCLUDING:
 - 1.1. SITE EXCAVATION AND GRADING
 - 1.2. PLACEMENT OF STRUCTURAL FILL AND SOIL COMPACTION
 - 1.3. VERIFICATION OF SOIL-BEARING CAPACITY
2. CONCRETE PLACEMENT AT CONCRETE CONSTRUCTION: CONTINUOUS, SEE ALSO SECTION 1705.3 OF THE INTERNATIONAL BUILDING CODE.
3. REINFORCEMENT AT CONCRETE CONSTRUCTION: PERIODIC, SEE ALSO SECTION 1705.3.
4. MASONRY CONSTRUCTION, INCLUDING PLACEMENT OF MASONRY UNITS, MORTAR, REINFORCEMENT AND STRUCTURAL CONNECTIONS: PERIODIC, SEE ALSO SECTION TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
5. GROUT PLACEMENT AT MASONRY CONSTRUCTION: CONTINUOUS, SEE ALSO SECTION TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
6. WOOD-FRAMED LATERAL-FORCE RESISTING SYSTEM: PERIODIC, SEE ALSO SECTION 1705.10.
7. TESTING OF CONCRETE FOR SPECIFIED COMPRESSIVE STRENGTH (FC), AIR CONTENT AND SLUMP. SEE ALSO TABLE 1705.3.
8. VERIFICATION OF SPECIFIED COMPRESSIVE STRENGTH (F_m) OF MASONRY PRIOR TO CONSTRUCTION AND EVERY 5,000 SQUARE FEET DURING CONSTRUCTION. SEE ALSO TMS 602 / ACI 530.1 / ASCE 6, TABLE 5.
9. STRUCTURAL OBSERVATION BY A REGISTERED DESIGN PROFESSIONAL IN ACCORDANCE WITH IBC 1704.5 SHALL BE PROVIDED.

LINES SHOWN ON DRAWINGS MAY BE ASSOCIATED WITH CAD MODELING AND MAY NOT
 REPRESENT REQUIRED OR ALLOWED JOINTS. SEE DETAILS FOR CLARIFICATION ON REQUIRED AND
 ALLOWED JOINTS.

1. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-99 AND 318-11. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH THE "REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE" - SEE THIS SHEET. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
2. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
3. A 6" WATERSTOP SHALL BE PLACED AT ALL BELOW GRADE CONCRETE SLAB AND WALL CONSTRUCTION JOINTS AND AS SHOWN TO PROVIDE A WATERTIGHT STRUCTURE.
4. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - 4.1. FOOTINGS AND OTHER UNIFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - 4.2. FORMED SURFACES EXPOSED TO EARTH (WALLS BELOW GRADE), WATER OR WEATHER (#6 BARS OR LARGER) 2"
 - 4.3. COLUMN TIES OR SPIRALS AND BEAM STIRRUPS 2"
 - 4.4. SLABS AND INTERIOR FACES 2"

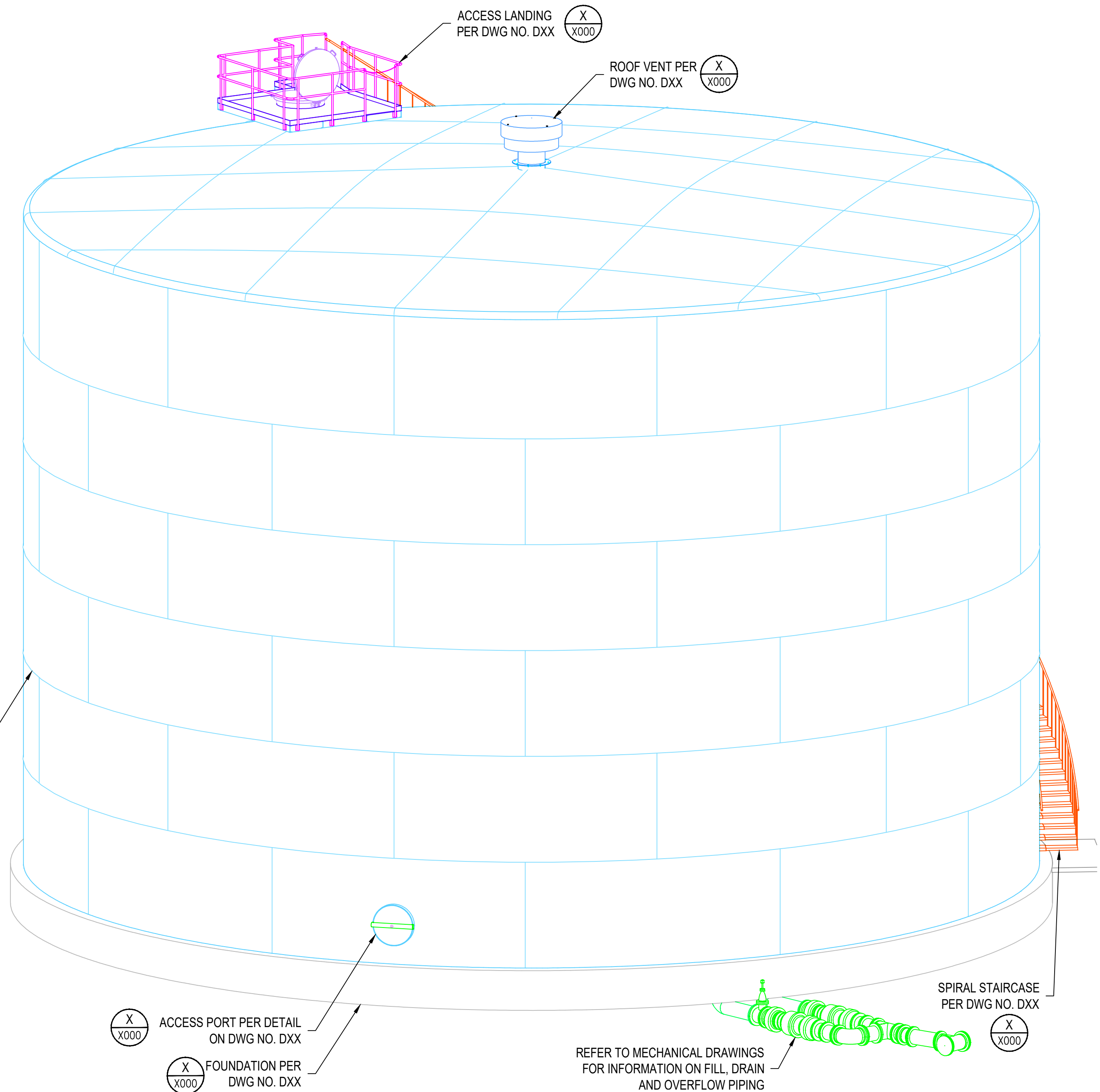
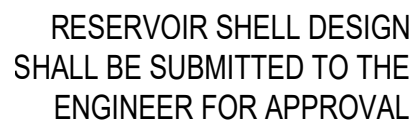
AL - ALUMINUM
CHK - CHECKERED
CL - CENTERLINE
CLR - CLEAR
EA - EACH
EF - EACH FACE
FB - FLAT BAR
GALV - GALVANIZED
HORZ - HORIZONTAL
LLV - LONG LEG VERT
O.C. - ON CENTER
PL - PLATE
RB - ROUND BAR
RST - REINF. STEEL
SST - STAINLESS STEEL
T&B - TOP & BOTTOM
VERT - VERTICAL

REINFORCEMENT SPLICE AND DEVELOPMENT SCHEDULE					
	Ld, MINIMUM STRAIGHT DEVELOPMENT LENGTHS			MINIMUM LAP SPLICE LENGTHS	
BAR	MINIMUM	TOP BARS	OTHERWISE	CLASS A	CLASS B
#3	19"	25"	29"	Ld	1.3xLd
#4	24"	32"	36"	Ld	1.3xLd
#5	29"	38"	43"	Ld	1.3xLd
#6	42"	55"	63"	Ld	1.3xLd
"MINIMUM" IF: MIN COVER OF ONE BAR Ø AND MIN SPACING OF TWO BAR DIAMETERS MIN COVER ONE Ø, MIN SPACING OF ONE BAR Ø, AND TIES OR STIRRUPS LESS THAN 12" OF FRESH CONCRETE BELOW HORIZONTAL BARS "TOP BARS" IF: MEETS CRITERIA FOR MIN EXCEPT 12" OR MORE FRESH CONC BELOW "OTHERWISE" IF: DOES NOT MEET REQUIREMENTS FOR MIN DEVELOPMENT LENGTH "CLASS A" IF: ONLY HALF OF BARS LAPPED AT ONE LOCATION AND TWICE THE REINFORCING FOR TENSION IS PROVIDED "CLASS B" IF: LAP SPLICES DO NOT MEET CLASS A REQUIREMENTS					

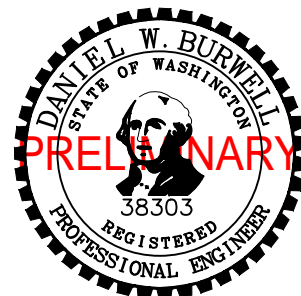
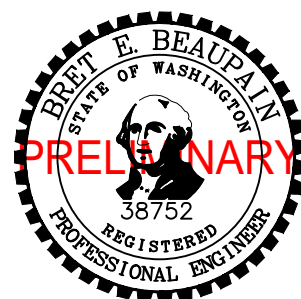
WHERE SIZE IS NOT CALLED OUT, ANCHOR SHALL BE SELECTED BASED ON DESIGN LOADS. IF THE MINIMUM EDGE DISTANCE AND/OR MINIMUM SPACING CAN NOT BE ACHIEVED, REFER TO PRODUCT INFORMATION FOR REDUCTION IN ALLOWABLE LOADS.

CONCRETE ANCHORS					
HILTI HIT-RE 500 V3, SIMPSON STRONG-TIE SET-XP & POWERS PE1000+					
DIA. OF ROD (INCHES) OR REBAR SIZE NO.	MIN. EDGE DISTANCE (INCHES)	MIN. EMBEDMENT (INCHES)	MIN. ANCHOR SPACING (INCHES)	ALLOWABLE LOAD BASED ON BOND STRENGTH (POUNDS)	
				TENSION	SHEAR
1/2	2-1/2	2-3/4	2-1/2	1,027	2,210
5/8	3-1/8	3-1/8	3-1/8	1,312	2,827
3/4	3-3/4	3-1/2	3-3/4	1,556	3,351
7/8	4-3/8	3-1/2	4-3/8	1,556	3,351
#4	2-1/2	4-1/2	2-1/2	1,520	3,618
#5	3-1/8	5-5/8	3-1/8	1,775	5,494
#6	3-3/4	6-3/4	3-3/4	2,225	7,570
#7	4-3/8	7-7/8	4-3/8	2,440	9,428
#8	5	9	5	4,520	11,507

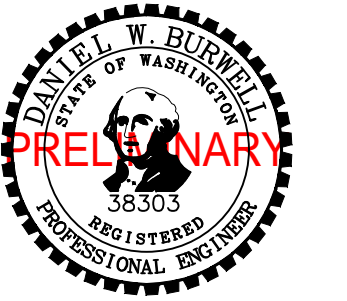
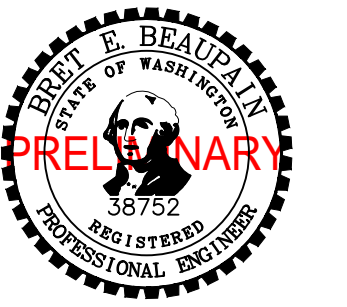
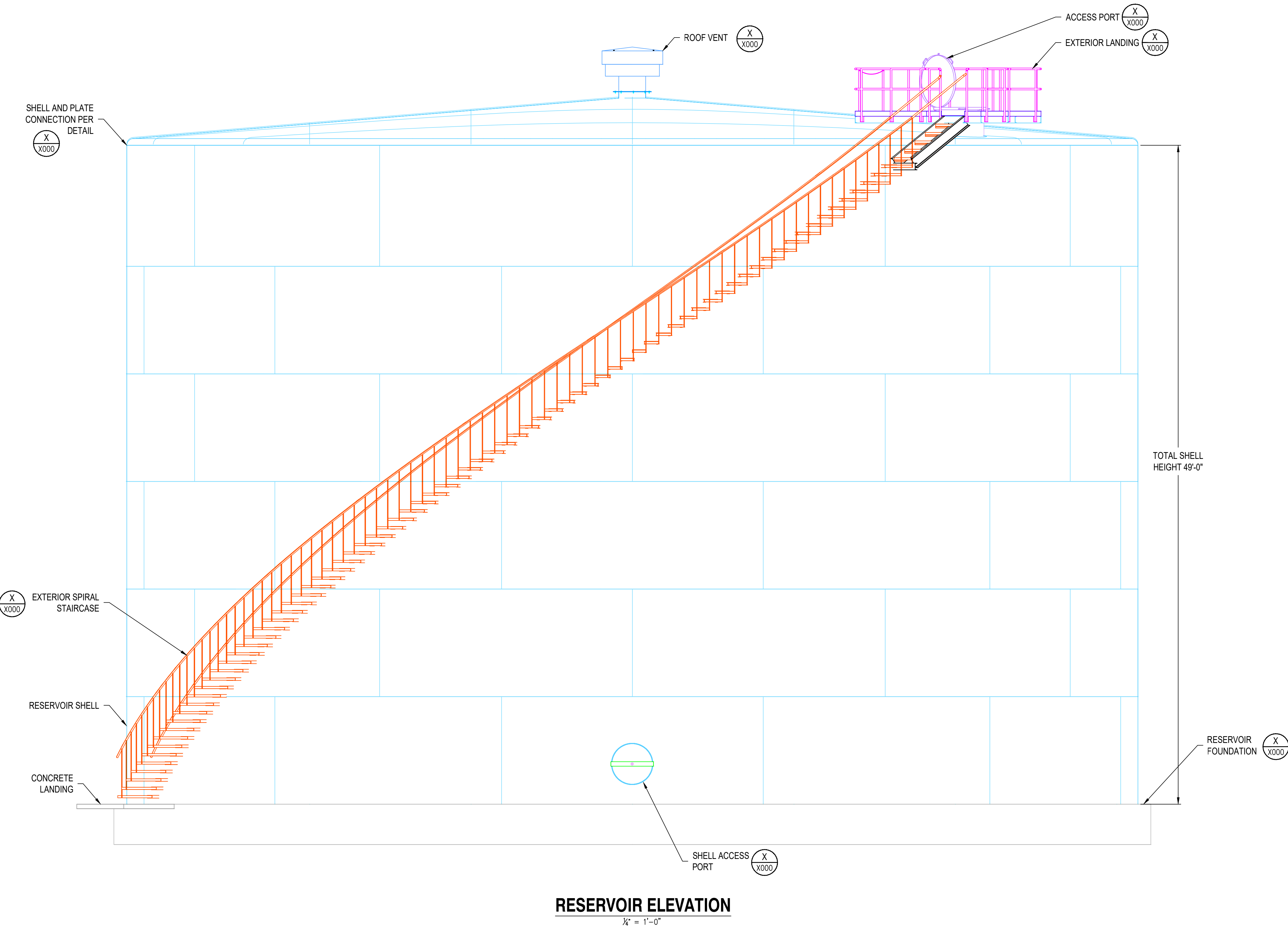
201
TYP.



REFER TO MECHANICAL DRAWINGS
FOR INFORMATION ON FILL, DRAIN
AND OVERFLOW PIPING

[illegible]

TO BE UPDATED AT 90-PERCENT SUBMITTAL

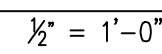


CITY OF STANWOOD
297 ZONE RESERVOIR DESIGN



RESERVOIR ELEVATION AND DETAILS

REVISIONS		NO.		DATE	DESCRIPTION	BY	REVIEW
ENGINEER: OMP	SALE DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152				
REVIEWED: JMC	PLOT DATE: Jan 31, 2019	FILENAME: CHR2-D-STRO3.DWG					

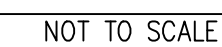


ACCESS HATCH PLAN VIEW

ACCESS HATCH HINGE OBLIQUE

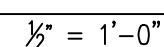
ACCESS HATCH LOCK OBLIQUE

ROOF ACCESS HATCH DETAILS



NOTE TO ENGINEER: ADD
LANDING TO ROOF
SUPPORTS

LANDING ELEVATION



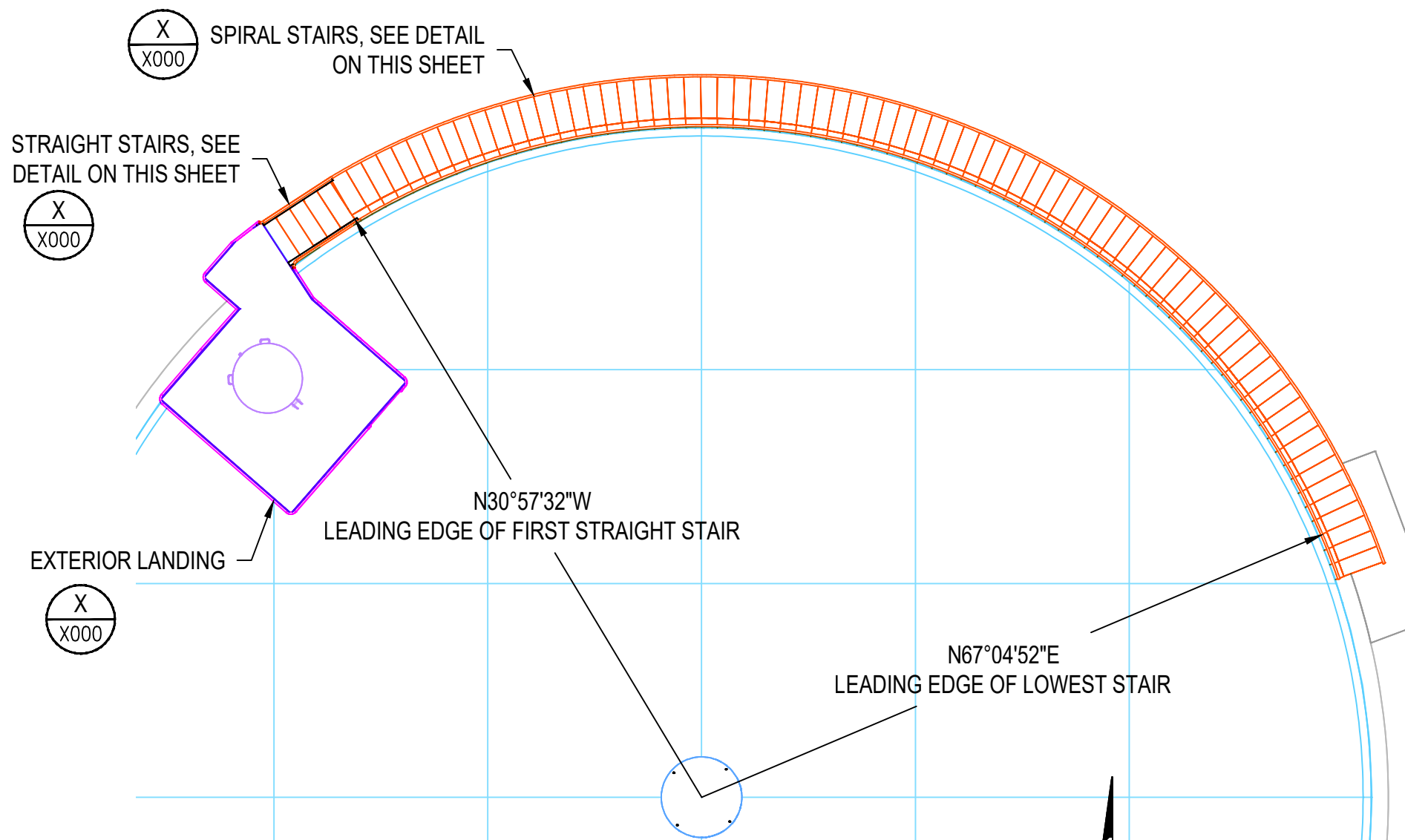
NOTE TO ENGINEER: DETERMINE
IF BOLTED OR WELDED LADDER
ATTACHMENT IS PREFERRED

INTERIOR LADDER DETAIL

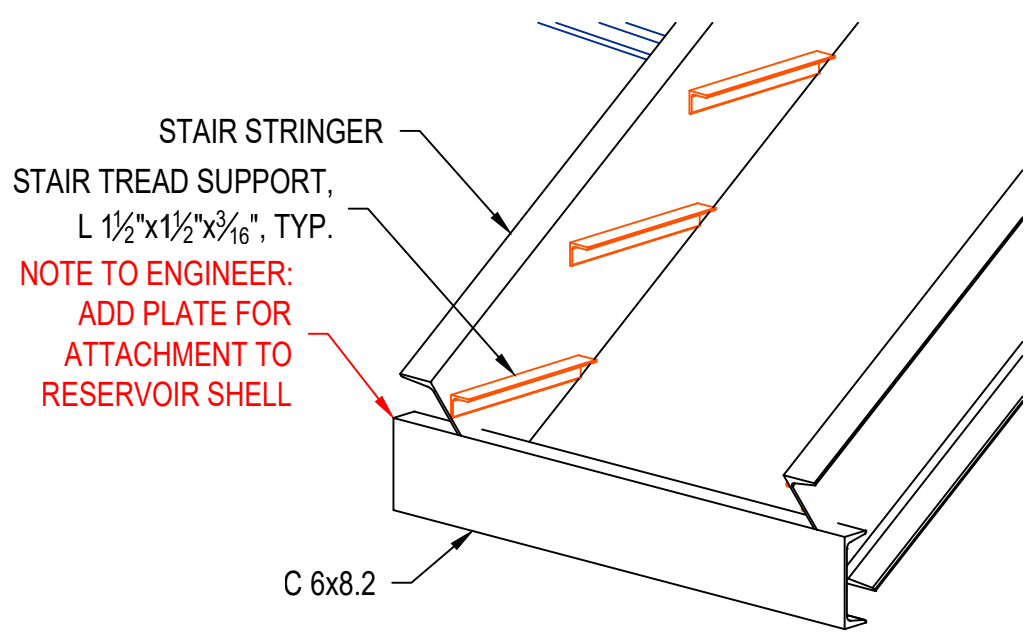


NOTE TO ENGINEER: ADD WELD
SYMBOLS AT 90-PERCENT
DESIGN SUBMITTAL

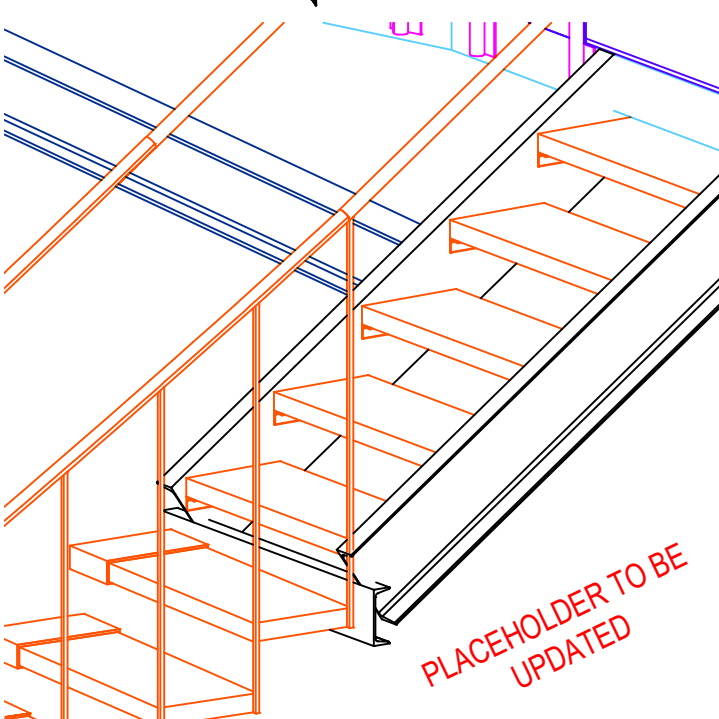
[illegible]



RESERVOIR ACCESS PLAN
3/8" = 1'-0"

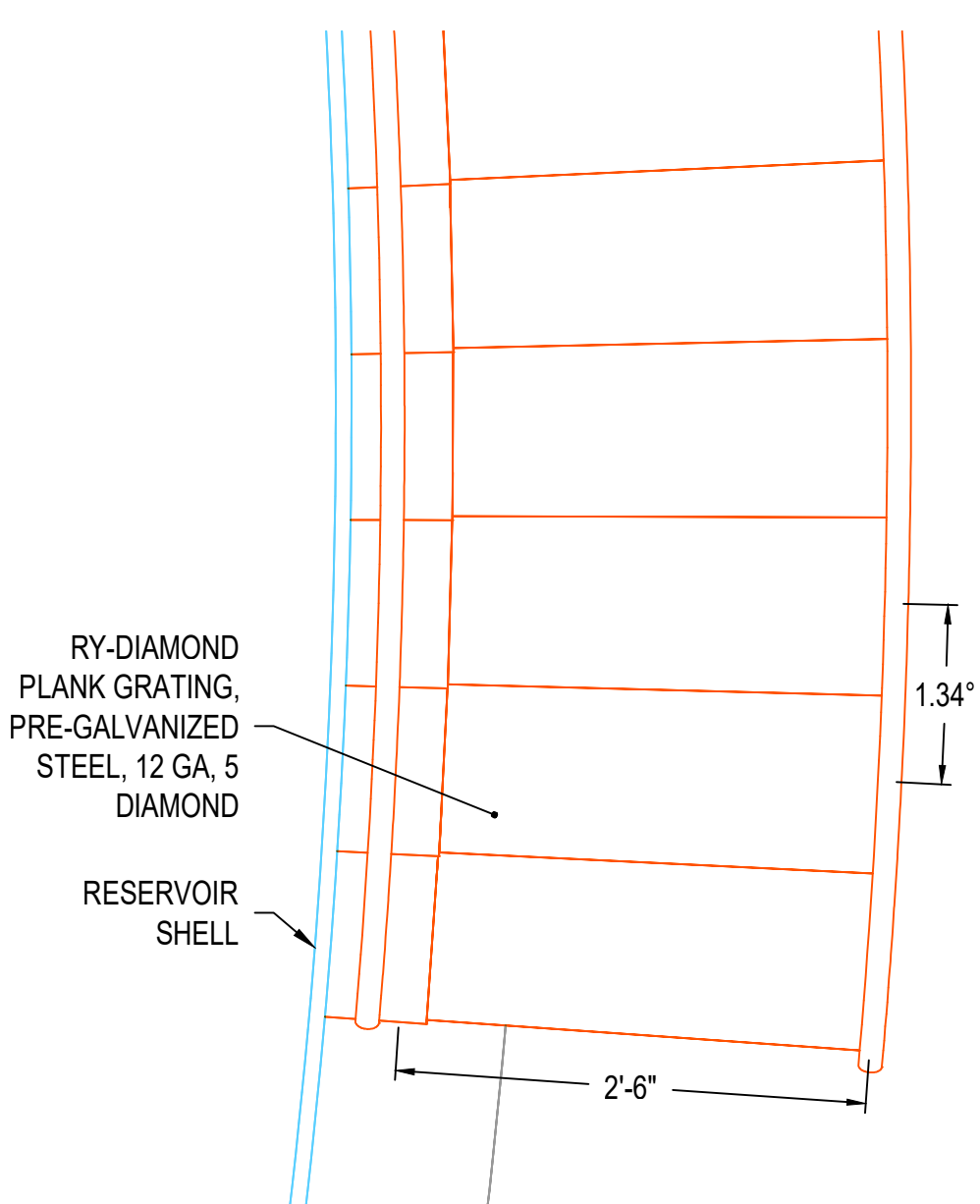


STRAIGHT STAIR SUPPORT OBLIQUE
NOT TO SCALE, APPROX: 1" = 1'-0"

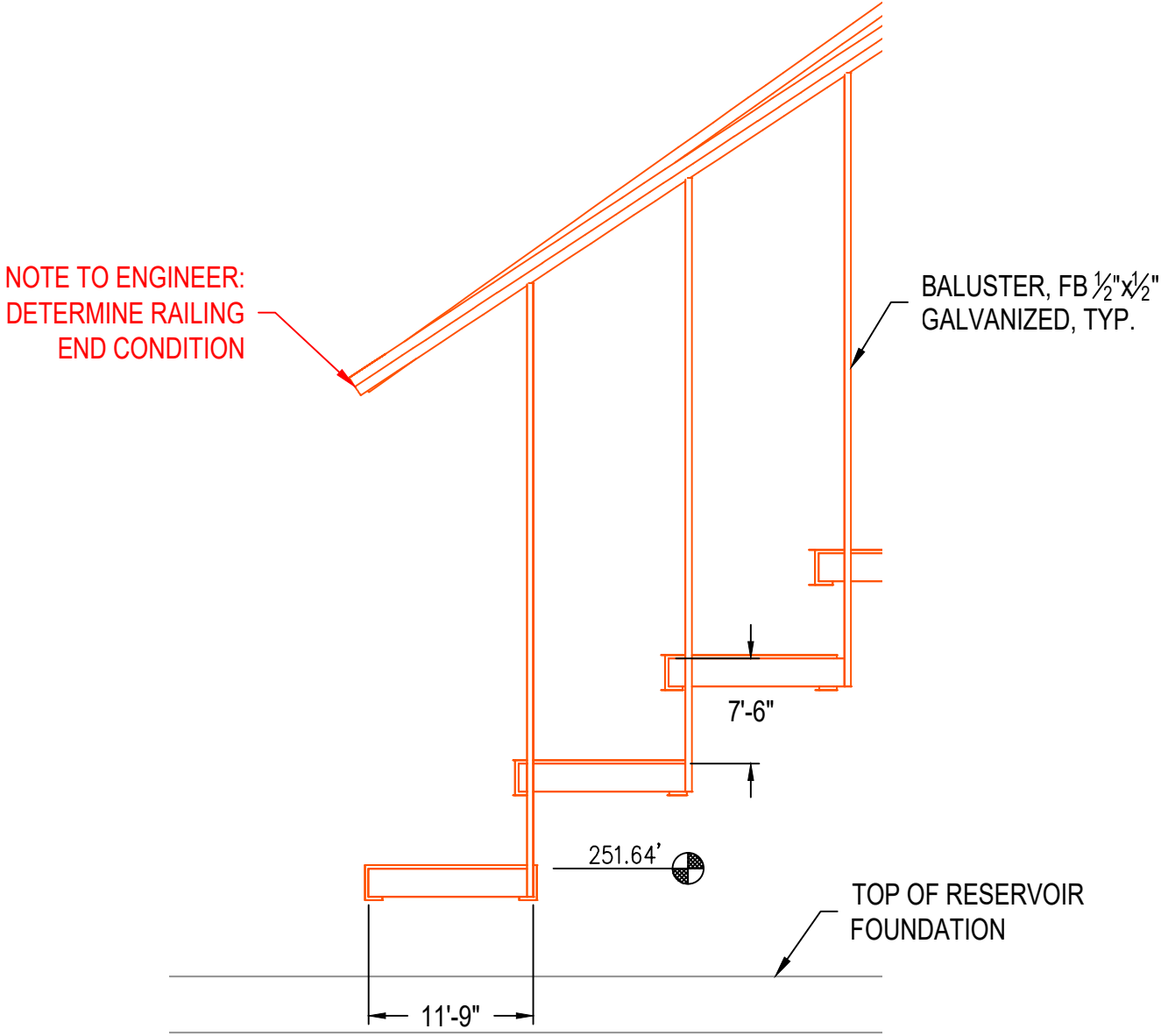


STRAIGHT STAIR OBLIQUE
NOT TO SCALE, APPROX: 1" = 1'-0"

(X X000)

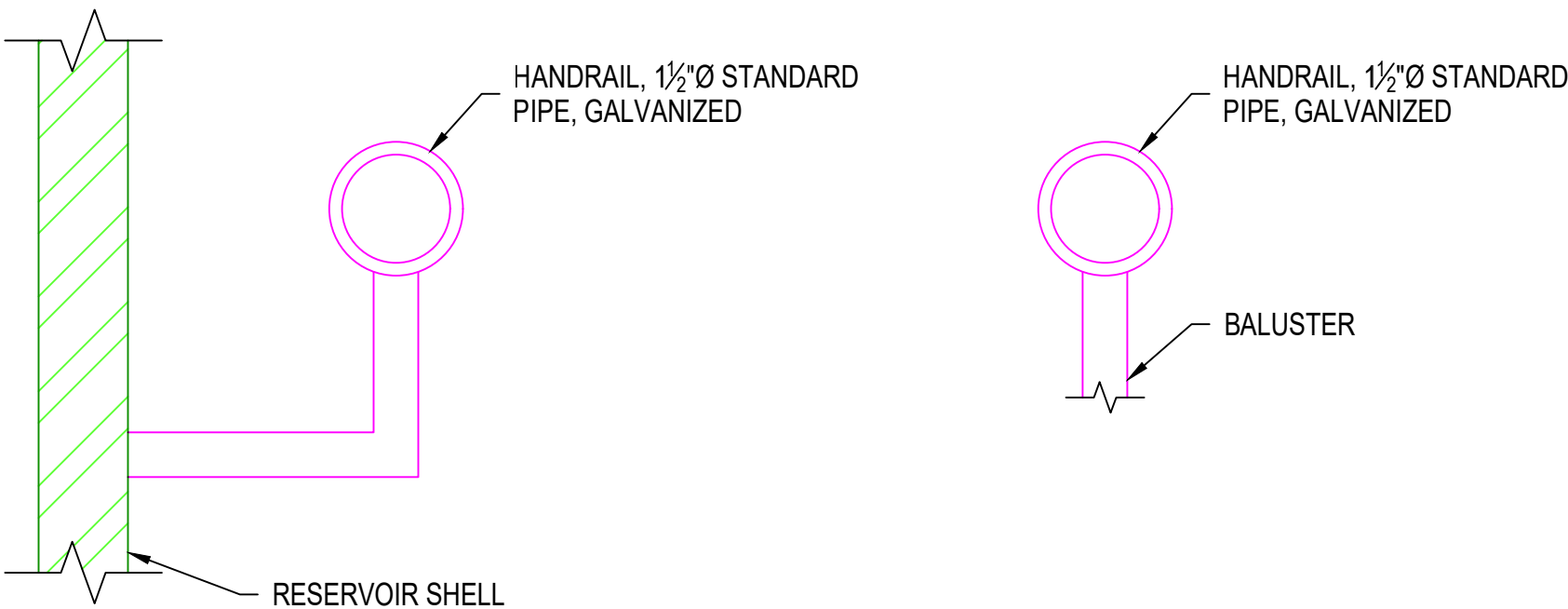


SPIRAL STAIR PLAN
NOT TO SCALE, APPROX: 1" = 1'-0"



SPIRAL STAIR ELEVATION
NOT TO SCALE, APPROX: 1" = 1'-0"

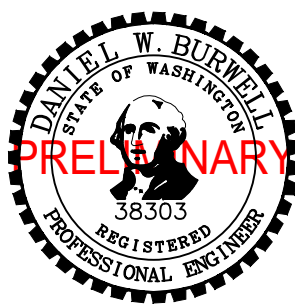
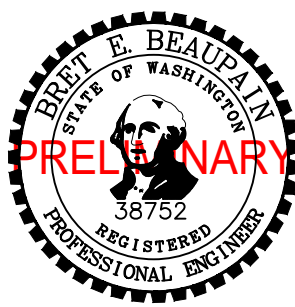
(X X000)



HANDRAIL CONNECTIONS
NOT TO SCALE

NOTE TO ENGINEER: ITEMS TO BE ADDED AT 90-PERCENT SUBMITTAL:

- WELDING SYMBOLS
- ACCESS PORT DETAILS
- STRAIGHT AND SPIRAL STAIR TREAD DETAILS
- ROOF VENT DETAILS



CITY OF STANWOOD
297 ZONE RESERVOIR DESIGN

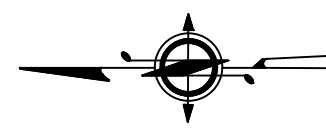


STRUCTURAL DETAILS I

ENGINEER: OMP	SAFE DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152	REVISIONS				DATE	DESCRIPTION	BY	REVIEW
				REVIEWED: JMC	FILENAME: CHR2-D-STRO5.DWG						

Plan view of a 60-foot diameter circular water storage tank. The diagram shows the following components and connections:

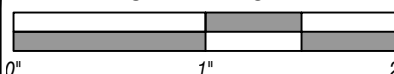
- TRUE NORTH:** Indicated by a horizontal dashed line passing through the center of the tank.
- Overflow, Drain, Inlet, and Outlet Centerline:** A dashed line extending from the center of the tank towards the top right, labeled "R34'-6\"".
- Overflow Pipe Centerline:** A dashed line extending from the center of the tank towards the top right, labeled "S 45° 33' 04\" E".
- Drain Pipe Centerline:** A dashed line extending from the center of the tank towards the top right, labeled "S 58° 10' 41\" E".
- Fill Pipe Centerline:** A dashed line extending from the center of the tank towards the bottom left, labeled "N 31° 37' 58\" W".
- Draw Pipe Centerline:** A dashed line extending from the center of the tank towards the bottom left, labeled "N 39° 53' 45\" W".
- Control Valve Vault:** A rectangular structure located outside the tank, connected to the fill and draw pipes. It is labeled "CONTROL VALVE VAULT".
- Interior Access Ladder:** A yellow ladder symbol located inside the tank, near the bottom left, labeled "INTERIOR ACCESS LADDER, REFER TO DWG NO. S02 FOR LOCATION".
- Valves and Fittings:** Various symbols representing valves and fittings are shown along the pipes, including a 9.3' valve on the fill pipe and a 10.0' valve on the overflow pipe.

$$\frac{3}{16}'' = 1'-0''$$


MECHANICAL PLAN

											JOB NO.: 418-152
ENGINEER: OMP	SAVE DATE: Jan 31, 2019	CLEAR: STA	FILE NAME: CHR-D-MECON.DWG								
REVIEWED: DWB	PLOT DATE: Jan 31, 2019										
REVISIONS											
NO.	DATE	DESCRIPTION	RW	BROWEN							

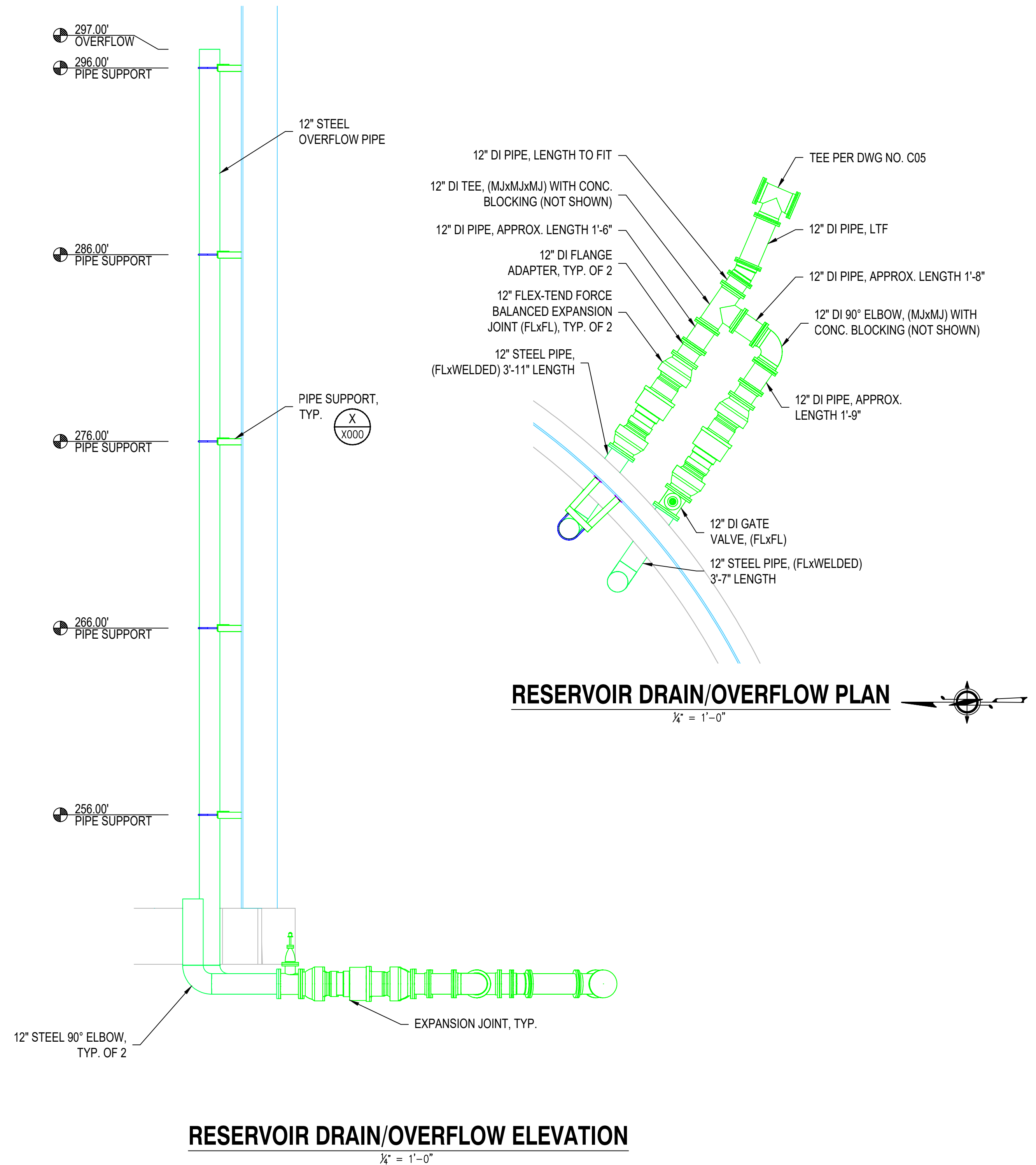
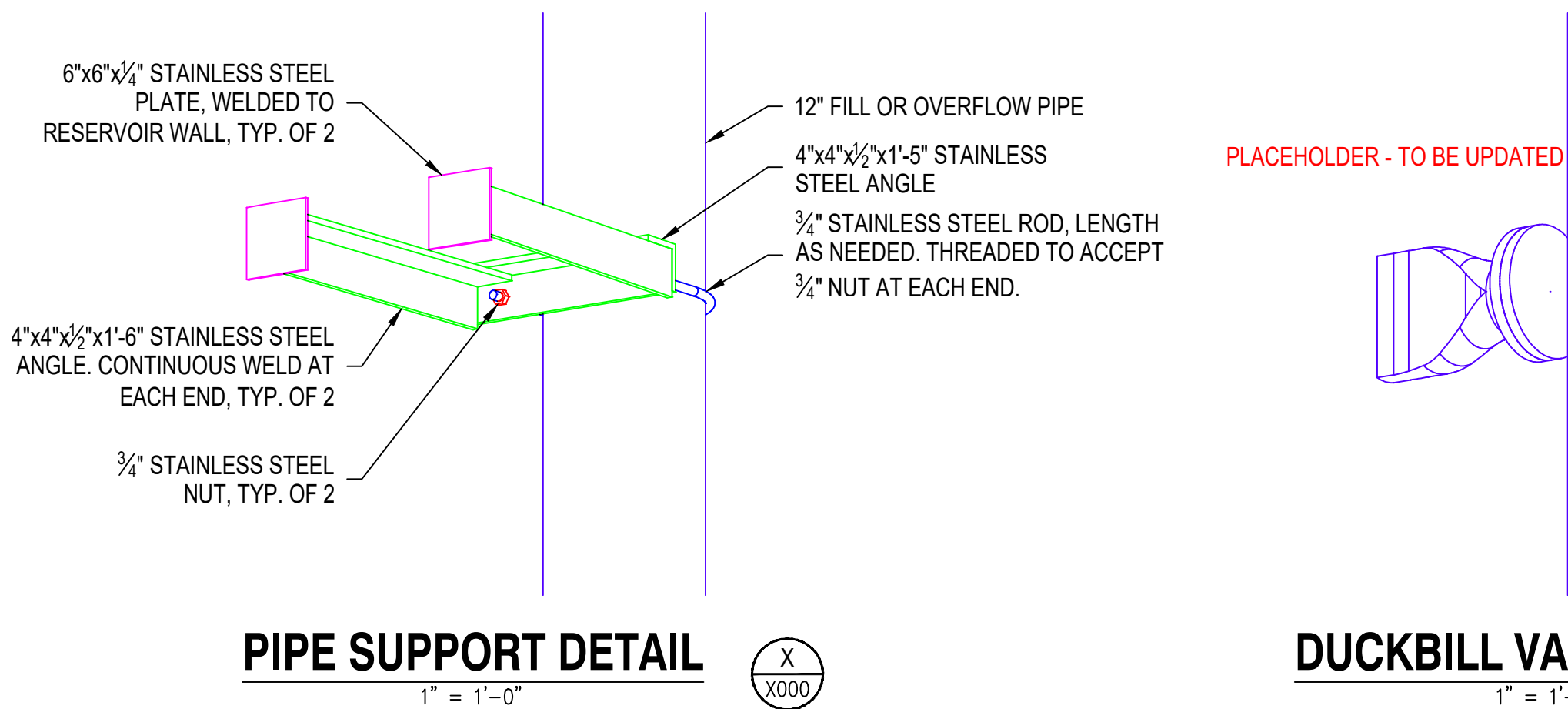
SCALE: SHOWN



DRAWING IS FULL SCALE WHEN
BAR MEASURES 2"

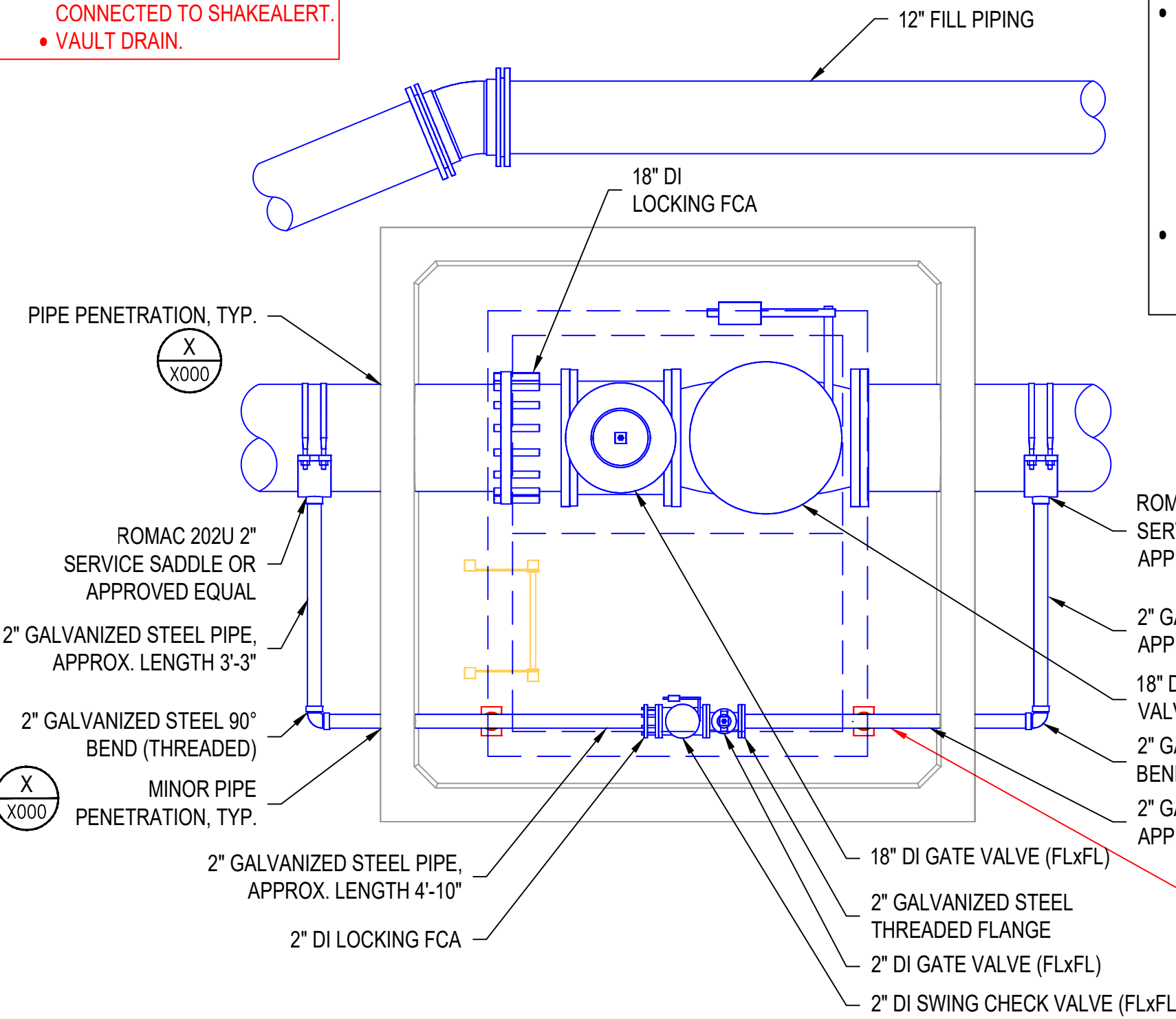
DWG NO.:	SHEET NO.:
M01	20

SCALE: SHOWN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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NOTE TO ENGINEER: ADD THE FOLLOWING AT 90-PERCENT SUBMITTAL:

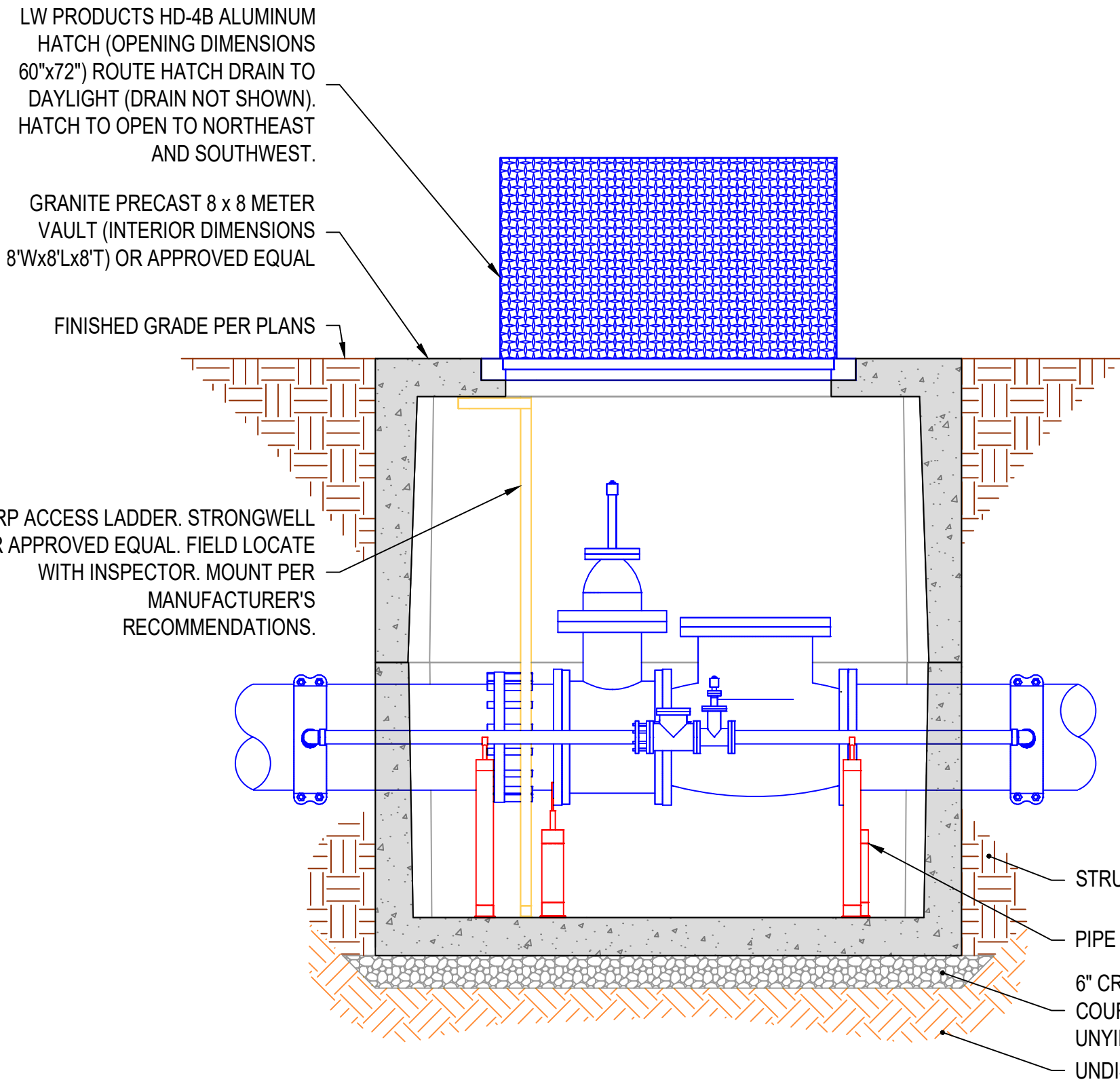
- SEISMIC CONTROL CONNECTED TO SHAKEALERT.
- VAULT DRAIN.



CONTROL VALVE VAULT PLAN VIEW

1/2" = 1'-0"

(X X000)

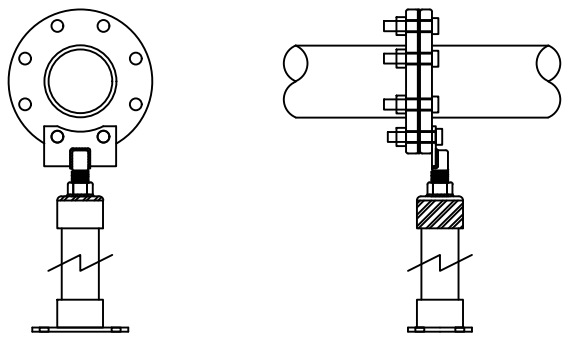


CONTROL VALVE VAULT ELEVATION

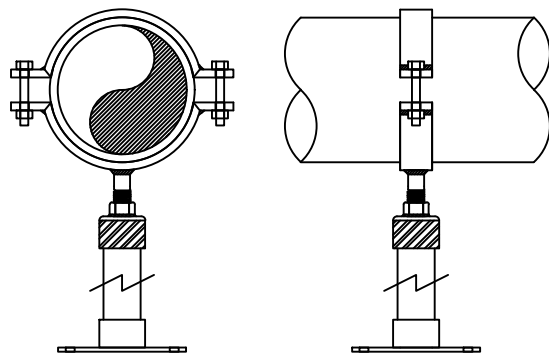
1/2" = 1'-0"

(X X000)

- NOTES:
- CONTRACTOR SHALL PROVIDE SUPPORTS AS NEEDED TO SECURE PIPING SYSTEM IN NORMAL AND TEST OPERATING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THE NECESSARY PIPE SUPPORTS, HANGERS AND SEISMIC BRACING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. SUBMIT DESIGN WITH PIPING PLAN.
 - SADDLE AND SADDLE CLAMP SUPPORTS SHALL BE "STANDON" BRAND AS MANUFACTURED BY MATERIAL RESOURCES OR EQUAL.



TYPE A - FLANGE SUPPORT



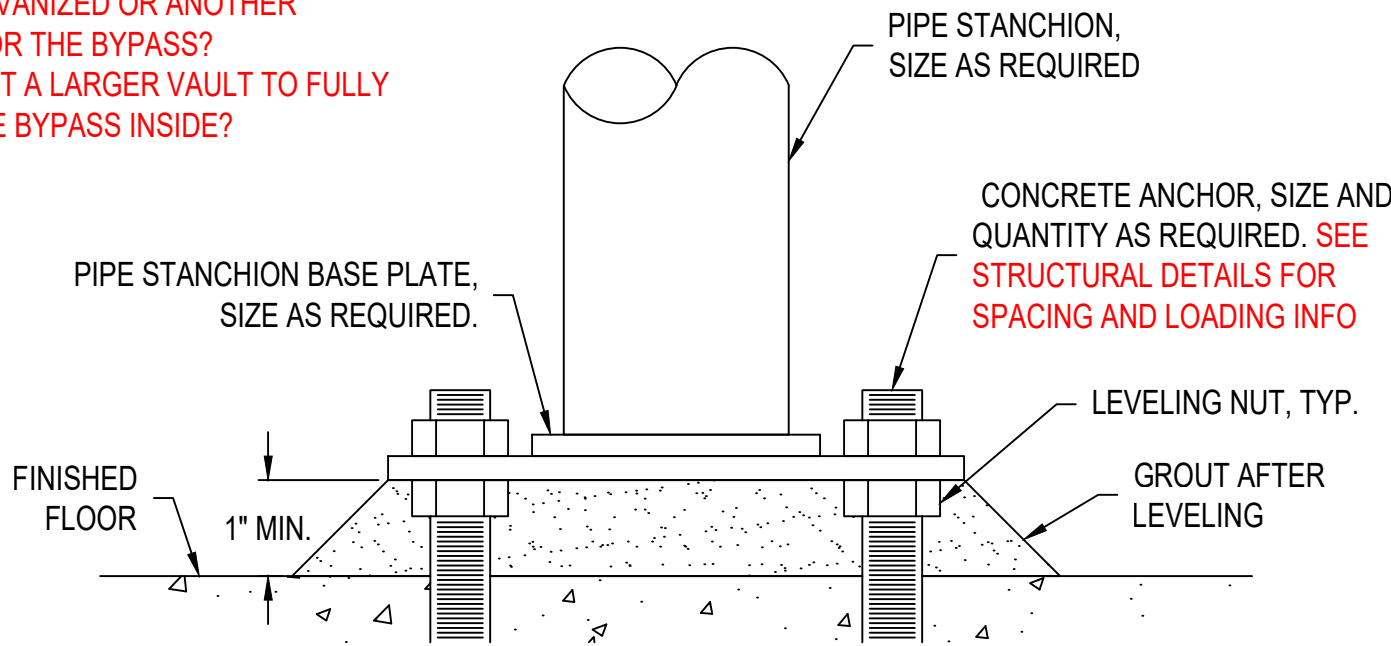
TYPE C - SADDLE CLAMP SUPPORT

(TYP. AT PIPING)

(TYP. AT VALVES, METERS, AND FITTINGS)

PIPE SUPPORT DETAIL

NOT TO SCALE



PIPE STANCHION DETAIL

NOT TO SCALE

(X X000)



ENGINEER: OMP	REVIEWED: DWB	DATE: Jan 31, 2019	CLIENT: STA	JOB NO.: 418-152	REVISIONS				DATE	NO.	DESCRIPTION	BY	REVIEW



MEMORANDUM

City of Stanwood
10220 270th St NW
Stanwood, WA 98292
360-629-2181

COMMUNITY DEVELOPMENT DEPARTMENT

TO: PLANNING COMMISSION

FROM: Amy Rusko, Senior Planner

SUBJECT: Public Meeting – Pioneer Hwy & 72nd Ave Interceptor Sewer Line

DATE: March 25, 2019

ATTACHMENT: A. Vicinity Map
B. Site Plan

Request:

The City of Stanwood Public Works Department is requesting major site development approval for the installation of approximately 1,680 linear feet of 18" sewer line, replacing the existing 8" sewer line. It is expected that approximately 700 cubic yards of excavating, filling and grading will take place with the project. The project takes place within the existing asphalt of both Pioneer Highway and 72nd Avenue NW. The project limits include approximately 600 linear feet north along 72nd Avenue NW and approximately 1,200 linear feet northwest along Pioneer Highway from the Pioneer Highway and 72nd Avenue Intersection.

Procedural Information:

The project as proposed is considered a Major Site Development and will be processed as a Type II permit application. The process requires public notice in the newspaper, posting the site, and mailing to property owners within 300-feet. Proper notification has occurred. The Community Development Director will render a decision on this project once all code requirements have been met.

Stanwood Municipal Code 17.80.033 states the community development department shall apprise the planning commission of the general intent of a project of this type and collect comments from the commission members. These comments will be considered by the Community Development Director prior to issuing a decision.

Project Details:

The property is designated as public right-of-way. The neighboring properties are zoned Single Family Residential 5.0 (SR 5.0) and Multi-Family Residential (MR) on the Zoning Map and Medium Density Residential (MDR) and High Density Residential (HDR) on the Future Land Use Map. The project is located within public right-of-way at the Pioneer Highway and 72nd Avenue Interceptor in the southeast section of the city.

The application was submitted on February 25, 2019 and deemed to be complete. The Notice of Application and SEPA DNS Notice was published in the newspaper, posted at the required sites and mailed on March 5, 2019. The Notice of Public Meeting was published in the newspaper, posted at the required sites and mailed on March 12, 2019. The Notice of Application comment period ended on March 20, 2019.

Public Comments:

To date the project has received four public or agency comments.

1. To extend the Notice of Application and SEPA DNS comment period to March 22, 2019 for agency review. This request was granted.
2. The Swinomish Tribe requested additional information. The additional information was sent via email.
3. The Stillaguamish Tribes requested notification for tribal monitors during ground disturbance. This request will be added to the permit.
4. A neighboring property owner requested a pdf of the plan set. The pdf was sent to the citizen via email.





**Preliminary
50% Review Set**

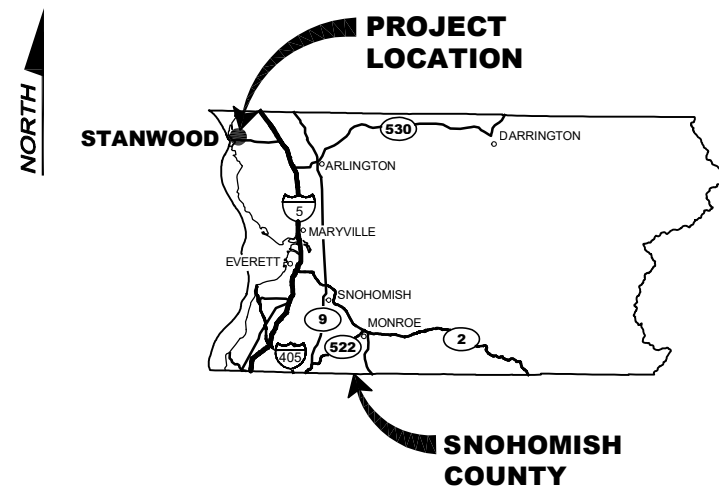
Not For Construction
12-2018

CITY OF STANWOOD PIONEER HIGHWAY UPGRADES PHASE 1 - 72ND AVENUE INTERCEPTOR

DECEMBER 2018

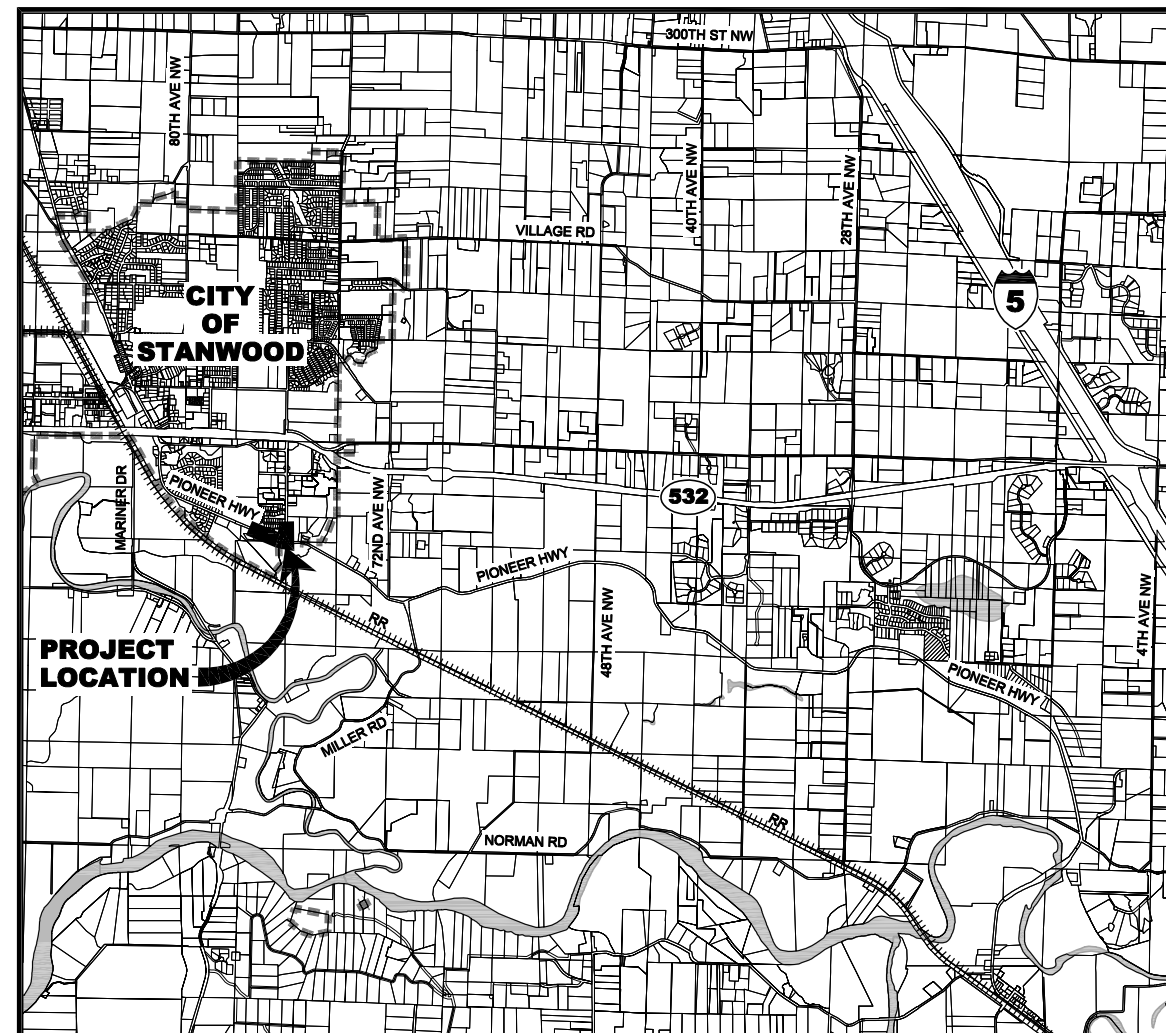
LOCATION MAPS

NTS



VICINITY MAP

NTS



MAYOR

LEONARD KELLEY

CITY COUNCIL

ROB JOHNSON
DIANNE WHITE
ELIZABETH CALLAGAN
TIMOTHY PIERCE
LARRY SATHER
KELLY MCGILL
JUDY WILLIAMS

PUBLIC WORKS DIRECTOR

KEVIN HUSHAGEN

CITY ENGINEER/ASSISTANT PUBLIC WORKS DIRECTOR

SHAWN SMITH

PREPARED BY



BHC Consultants, LLC
1601 Fifth Avenue, Suite 500
Seattle, Washington 98101
206.505.3400
206.505.3406 (fax)
www.bhcconsultants.com

IN ASSOCIATION WITH

1 ALLIANCE GEOMATICS, LLC - SURVEYING & MAPPING
ASPECT CONSULTING, LLC - GEOTECHNICAL

G-1
1 of XX

Path: S:\Cad\Stanwood\Pioneer Highway\18-10515 Design\ Filename: P18-10515_G-2 Plot date: Dec 13, 2018-01:45:47pm CAD User: psimon.
Xref Filename: | X18-10515_TB | X18-10515_Prelim | Gray |

INDEX OF DRAWINGS				
SHEET NO.	DWG NO.	DRAWING TITLE		
<u>GENERAL</u>				
X	G-1	COVER AND VICINITY MAP		
X	G-2	INDEX OF DRAWINGS AND GENERAL NOTES		
X	G-3	LEGEND, ABBREVIATIONS, SYMBOLS AND DESIGNATIONS		
X	G-4	OVERALL KEY MAP AND SURVEY NOTES		
<u>EROSION CONTROL</u>				
X	EC-1	EROSION CONTROL DETAILS AND NOTES		
<u>CIVIL</u>				
X	C-1	PLAN AND PROFILE STA 0+00 TO STA 55+50		
X	C-2	PLAN AND PROFILE STA 55+50 TO STA 61+00		
X	C-3	PLAN AND PROFILE STA 100+00 TO STA 105+00		
X	C-4	DETAILS		
<u>RESTORATION</u>				
X	R-1	PLAN, NOTES, AND DETAILS		

GENERAL NOTES:

1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF STANWOOD. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.

2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WORK.

3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT MANUAL, THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF STANWOOD CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").

4. A COPY OF THESE APPROVED PLANS AND THE PROJECT'S SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.

5. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.

6. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.

7. ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE CONTRACTOR'S EXPENSE.

8. THE LOCATION OF KNOWN EXISTING UTILITIES ARE SHOWN APPROXIMATE; TAKEN FROM UTILITY LOCATE MARKINGS AND/OR AVAILABLE RECORD INFORMATION AT THE TIME OF DESIGN. EXACT LOCATION AND DEPTH OF UTILITIES ARE UNKNOWN AND SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD BY POTHOLING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DUE TO FAILURE TO LOCATE AND PRESERVE EXISTING UTILITIES.

9. THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.

10. ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.

11. DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.

12. CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.

13. PRIOR TO ANY SIGN OR STRIPING INSTALLATION OR REMOVAL THE CONTRACTOR SHALL CONTACT THE CITY SIGN SPECIALIST (253) 841-5471 TO ARRANGE FOR AN ON-SITE MEETING TO DISCUSS PLACEMENT AND UNIFORMITY.

14. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL OF THE ENGINEER.

15. ALL EXCAVATIONS ADJACENT TO POWER POLES OR OTHER RELATED FACILITIES (VAULTS, HANDHOLES, ETC.) SHALL COMPLY WITH WAC 296-155, PART N, EXCAVATION, TRENCHING AND SHORING. POLE PROTECTION/SUPPORTING SYSTEMS USED WHILE EXCAVATING SHALL COMPLY WITH WAC 155-655 GENERAL PROTECTION REQUIREMENTS, ITEM (9) AND SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF POLES WHILE THE SYSTEMS ARE IN PLACE OR AFTER THE SYSTEMS HAVE BEEN REMOVED. WHERE CONSTRUCTION ACTIVITIES ARE IN CLOSE PROXIMITY TO POWER POLES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE POWER UTILITY AT LEAST 48 HOURS IN ADVANCE.

16. A PROJECT GEOTECHNICAL REPORT IS AVAILABLE FOR CONTRACTOR REFERENCE IN APPENDIX 1 OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SHORING AND DEWATERING RECOMMENDATIONS IN THE REPORT.

17. THE CONTRACTOR IS RESPONSIBLE FOR FULL RESTORATION OF ALL EXISTING FEATURES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE INDICATED BY THE ENGINEER.

18. CONTRACTOR IS REQUIRED TO PROVIDE A COMPETENT PERSON(S) TRAINED TO IDENTIFY EXISTING OR PREDICTING HAZARDS RELATED TO TRENCH SAFETY, SOIL CONDITIONS, AND SHORING REQUIREMENTS, IN ACCORDANCE WITH WAC 296-155 PART N. REPRESENTATIVES OF THE CITY SHALL NOT BE REQUIRED TO PERFORM THE ROLE OF COMPETENT PERSON FOR THE PROJECT. NO WORKERS SHALL ENTER A TRENCH OR OTHER EXCAVATION FOUR (4) FEET OR MORE IN DEPTH WITHOUT TRENCH SAFETY IN PLACE.

19. ADJUST EXISTING UTILITY COVERS TO FINISHED GRADE AFTER FINAL PAVING PER SPECIAL PROVISIONS SECTION 2-02.3(5).

20. CONTRACTOR SHALL NOT RESTRICT ACCESS TO EXISTING PARKING AREAS AND TRUCK OR TRACTOR TRAILER DELIVERY AREAS. CONTRACTOR SHALL COORDINATE ALL ACTIVITIES THAT REQUIRE TEMPORARY CLOSURE OF THE SOUTH HILL MALL PERIMETER/RING ROAD WITH THE MALL PROPERTY MANAGER PRIOR TO THESE ACTIVITIES BEING NECESSARY. SEE SPECIAL PROVISIONS SECTION 1-07.23 FOR ADDITIONAL REQUIREMENTS.

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LEGEND:

EXISTING		PROPOSED	
	RIGHT OF WAY		TEMPORARY CONSTRUCTION EASEMENT
	CENTERLINE		PERMANENT CONSTRUCTION EASEMENT
	PROPERTY LINE		CLEARING LIMIT/WORK ZONE DELINEATION FENCE
	EASEMENT		FILTER FABRIC FENCE
	PAINTED POWER		WETLAND BUFFER BOUNDARY
	PAINTED TELEPHONE		WATER MAIN
	PAINTED TV		CENTERLINE STATIONING
	PAINTED WATER		TO BE REMOVED OR ABANDONED
	PAINTED GAS		FIRE HYDRANT
	STORM		YARD HYDRANT
	SEWER		WATER METER
	SIDE SEWER		SHUTOFF VALVE
	OVERHEAD POWER		GATE VALVE
	FENCE		BLOWOFF
	HEDGE (HEIGHT NOTED)		COMBINATION AIR VALVE
	BUILDING		REDUCER
	PAINTED STRIPE		FLEXIBLE COUPLING
	EDGE OF PAVEMENT		FIRE DISTRICT POST
	CONCRETE		IRON PIN W/ BRASS MARKER
	GRAVEL		HMA PAVEMENT
	ROCKERY		HMA PAVEMENT PATCH
AC	ASPHALT/CONCRETE		HMA PAVEMENT PATCH & OVERLAY
CHLK	CHAINLINK		SOD
DWY	DRIVEWAY		CONCRETE
COL	COLUMN		PRECAST CONCRETE
YD	YARD DRAIN		GROUT OR SAND
STOR	STRUCTURE		CDF
FF	FINISHED FLOOR		GRAVEL BACKFILL
MIC	MONUMENT IN CASE		PIPE BEDDING
RC	REBAR & CAP		CSTC
SP	SPOT SHOT (DESCRIBED)		CSBC
CB	CATCH BASIN		COMMON BORROW
SDM	STORM DRAIN MANHOLE		COMPACTED BACKFILL OR PREPARED SUBGRADE
YD	YARD DRAIN		UNDISTURBED GROUND
CV	CULVERT		HYDROSEED
SM	SEWER MANHOLE		BEAUTY BARK
PP	POWER POLE		PLANT TYPE
PPC	POWER POLE WITH UNDERGROUND CONNECT		STAGING AREA
GP	GUY POLE		
GA	GUY ANCHOR		
T	TELEPHONE RISER		
TV	TELEPHONE VAULT LID		
TVR	TV RISER		
GV	GAS VALVE		
GM	GAS METER		
WV	WATER VALVE		
WM	WATER METER		
FH	FIRE HYDRANT		
PIV	POST INDICATOR VALVE		
ICV	IRRIGATION CONTROL VALVE		
S	SIGN		
MB	MAILBOX (# OF BOXES)		
SH	SHRUB		
SD	STUMP, DIAMETER		
DD	DECIDUOUS TREE, DIAMETER (# OF TRUNKS)		
CD	CONIFEROUS TREE, DIAMETER (# OF TRUNKS)		

ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY TRANSPORTATION OFFICIALS	MB	MAIL BOX
AB	ANCHOR BOLT	MDD	MAXIMUM DRY DENSITY
AC	ASPHALT CONCRETE, ASBESTOS CEMENT	MH	MANHOLE
ACP	ASPHALT CONCRETE PAVEMENT	MIN	MINIMUM
ADS	POLYETHYLENE PIPE	MJ	MECHANICAL JOINT
ALD	ALDER	MON	MONUMENT
APPROX	APPROXIMATE	MW	MONITORING WELL
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	N	NORTH
AVE	AVENUE	NAD	NORTH AMERICAN DATUM
BF	BLIND FLANGE	NAVD	NORTH AMERICAN VERTICAL DATUM
BH	BORE HOLE	NE	NORTHEAST
BM	BENCH MARK	NGVD	NATIONAL GEODETIC VERTICAL DATUM
BO	BLOW-OFF	NIC	NOT IN CONTRACT
CAV	COMBINATION AIR VALVE	NO	NUMBER
CB	CATCH BASIN	NPT	NATIONAL PIPE THREAD
CDF	CONTROLLED DENSITY FILL	NTS	NOT TO SCALE
CF	CLEARING LIMIT FENCE	NW	NORTHWEST
CHLK	CHAIN LINK	OC	ON CENTER
CI	CAST IRON	OD	OUTSIDE DIAMETER
C/L, CL	CENTERLINE	OH	OVERHEAD
CLR	CLEAR	OHW	ORDINARY HIGH WATER
CMP	CORRUGATED METAL PIPE	OP	OVERHEAD POWER
CO	CLEANOUT	OPG	OPENING
CONC	CONCRETE	P	POWER
CONSTR	CONSTRUCTION	PE	PLAIN END
CPLG	COUPLING	PG	PERFORMANCE GRADE
CSBC	CRUSHED SURFACING BASE COURSE	PSF	POUNDS PER SQUARE FOOT
CSTC	CRUSHED SURFACING TOP COURSE	PVC	POLYVINYL CHLORIDE
CULV	CULVERT	PVMT	PAVEMENT
D/W	DRIVEWAY	PWR	POWER
D	DEPTH, DOUBLE	RD	ROAD
DBH	DIAMETER BREAST HEIGHT	RED	REDUCER
DI	DUCTILE IRON	REINF	REINFORCEMENT
DIA	DIAMETER	REQ'D	REQUIRED
DIP	DUCTILE IRON PIPE	RET	RETAINING
DIPS	DUCTILE IRON PIPE SIZE	ROW, R/W	RIGHT OF WAY
DR	DRIVE	RRC	RED REBAR AND CAP
DTREE	DECIDUOUS TREE	RT	RIGHT
DWG	DRAWING	S	SOUTH, SLOPE, SEWER
E	EAST, ELECTRICAL	SCH	SCHEDULE
EA	EACH	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
EL, ELEV	ELEVATION	SDR	STANDARD DIMENSION RATIO
EP	EDGE OF PAVEMENT	SE	SOUTHEAST
ESC	EROSION AND SEDIMENTATION CONTROL	SERV	SERVICE
ESMT	EASEMENT	SF	SILT FENCE
EX	EXISTING	SSFM	SANITARY SEWER FORCE MAIN
FF	FINISHED FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SS	SANITARY SEWER, SIDE SEWER
FL	FLANGE	SST	STAINLESS STEEL
FPS	FEET PER SECOND	ST	STREET
FT	FEET	STA	STATION
G	GAS	STD	STANDARD
GALV	GALVANIZED	STL	STEEL
GP	GUARD POST	SW	SOUTHWEST
GRAV	GRAVEL	T	TELEPHONE
GV	GATE VALVE	T&B	TOP AND BOTTOM
HDD	HORIZONTAL DIRECTION DRILLING	TBM	TEMPORARY BENCHMARK
HDPE	HIGH DENSITY POLYETHYLENE	TELJB	TELEPHONE JUNCTION BOX
HMA	HOT MIX ASPHALT	TELR	TELEPHONE RISER
HORIZ	HORIZONTAL	TESC	TEMPORARY EROSION AND SEDIMENTATION CONTROL
HP	HIGH POINT	TV	TELEVISION (CABLE)
HT	HUB AND TACK	TVJB	TELEVISION (CABLE) JUNCTION BOX
HYD	HYDRANT	TVR	TELEVISION (CABLE) RISER
HWD	HIGHLINE WATER DISTRICT	TYP	TYPICAL
ID	INSIDE DIAMETER	UGP	UNDERGROUND POWER
IE	INVERT ELEVATION	UNO	UNLESS NOTED OTHERWISE
IPS	IRON PIPE SIZE	VAC	VACUUM
JB	JUNCTION BOX	VERT	VERTICAL
KW	KILOWATT	VPC	VERTICAL POINT OF CURVATURE
L	LENGTH	VPI	VERTICAL POINT OF INTERSECTION
LF	LINEAR FEET	VPT	VERTICAL POINT OF TANGENCY
LN	LANE	W/	WITH
LT	LEFT	W	WATER, WEST
MAP	MAPLE	WL	WATER LEVEL
MAX	MAXIMUM	WM	WATER METER
		WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
		WS	WATER SERVICE

SYMBOLS AND DESIGNATIONS

TITLE
TITLE
DETAIL

SCALE: 1/2" = 1'-0"

DETAIL NUMBER

DRAWING NUMBER WHERE DETAIL IS REFERENCED. DASH IF DETAIL APPEARS ON THE SAME SHEET AS SHEET REFERENCED.

TITLE
TITLE
SECTION

SCALE: 1/2" = 1'-0"

SECTION, ELEVATION OR PROFILE REFERENCE LETTER

DASH IF SECTION IS TAKEN ON THE SAME DRAWING. DRAWING NUMBER IF SECTION IS TAKEN ON A DIFFERENT SHEET.

SECTION LETTER

DRAWING NUMBER WHERE SECTION IS DRAWN. DASH IF SECTION APPEARS ON SAME SHEET AS CUT.

DETAIL CALLOUT

DRAWING

DETAIL #

ELEVATION LETTER

DRAWING NUMBER WHERE ELEVATION IS DRAWN. DASH IF ELEVATION APPEARS ON SAME SHEET AS REFERENCED.

PHOTO REFERENCE

PHOTO NUMBER

DIRECTION PHOTO WAS TAKEN

PIPING DESIGNATIONS

PIPING IS IDENTIFIED BY ITS SIZE FOLLOWED BY PIPING SYSTEM AS FOLLOWS:

NEW PIPING:

PIPE SIZE

GENERAL PIPE MATERIAL

8" DI W

PIPING SYSTEM

METERS:

222

METER NUMBER

EXISTING PIPING:

EX 8" AC W

FOR NEW PIPING MATERIAL, FITTINGS, AND VALVES, SEE SPECIFICATIONS.

PIPING SYSTEM DESIGNATIONS FOR EXISTING PIPING INDICATE TYPE OF SERVICE AND TYPE OF MATERIAL IF KNOWN. CONTRACTOR SHALL VERIFY ALL EXISTING PIPE MATERIAL AND NOT RELY ON THIS DESIGNATION PRIOR TO CONSTRUCTION.

DRAWING REFERENCE

G

GENERAL

EC

EROSION CONTROL

C

CIVIL

R

RESTORATION

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PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR

LEGENDS, ABBREVIATIONS, SYMBOLS
AND DESIGNATIONS

Drawing: G-3

Sheet: 3 of XX

File: P18-10515_G-3

Date: December 2018

No.

Revision

Date

By

App'd

BHC Consultants, LLC

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206.505.3406 (fax)
www.bhcconsultants.com

Designed: K. Gray

Drawn: A. Carioso

Checked: C. Kelsey

Approved: R. Dorn

Scale:

NA

One Inch at Full Scale

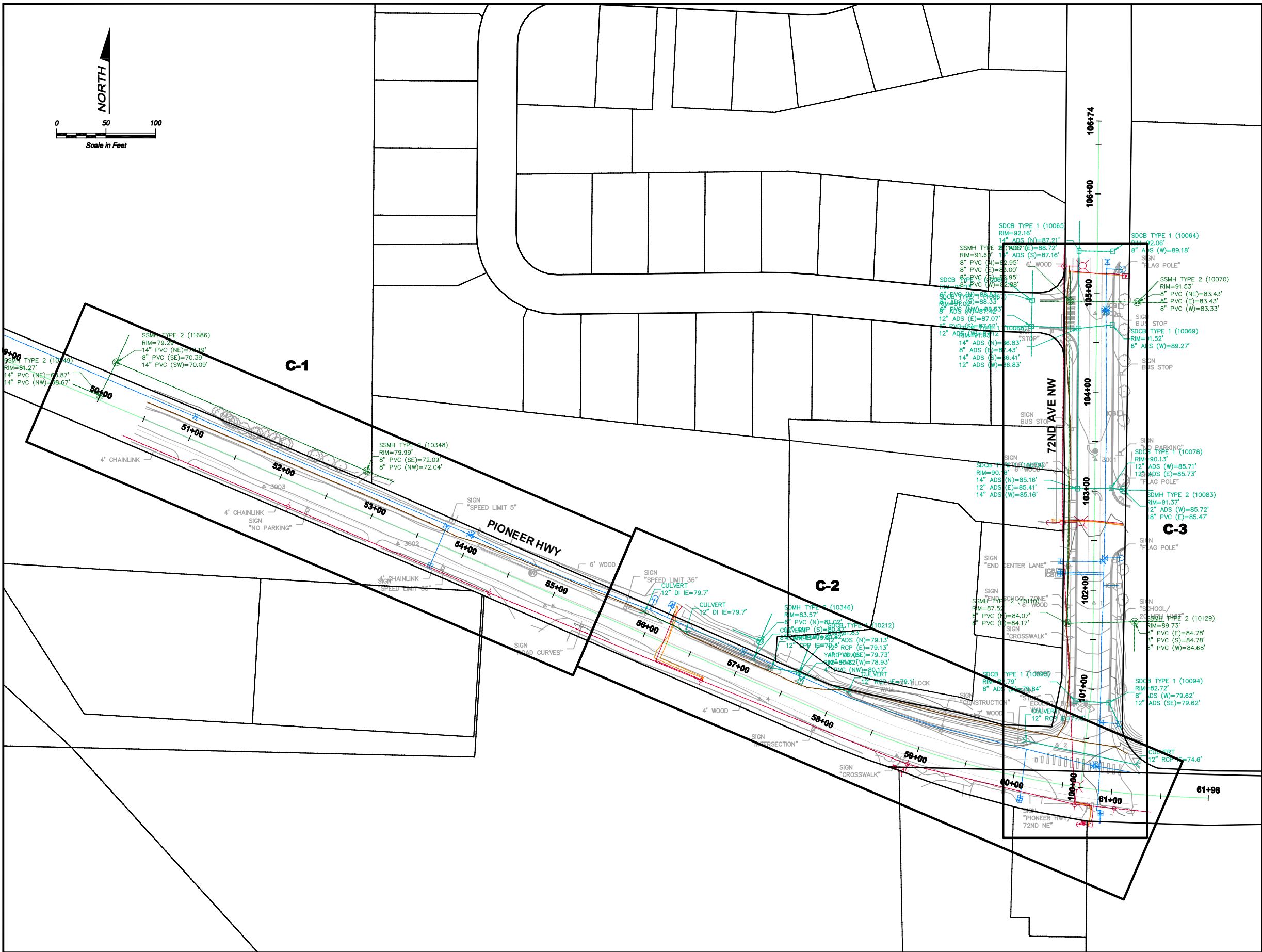
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City of Stanwood
Public Works

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GENERAL NOTES

1. THE CITY OF STANWOOD AND BHC CONSULTANTS LLC ASSUME NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXISTS IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. PIPING SHALL BE INSTALLED IN THE HORIZONTAL AND VERTICAL ALIGNMENT SHOWN HEREIN. ADJUSTMENTS TO THE PLANS AND SPECIFICATIONS SHALL BE REVIEWED BY ENGINEER AND APPROVED BY THE CITY OF LYNDEN PRIOR TO INSTALLATION. THE OWNER ASSUMES NO LIABILITY FOR WORK COMPLETED PRIOR TO CONTRACTOR NOTIFYING ENGINEER OF ALIGNMENT CHANGES AND ENGINEERS REVIEW OF ALIGNMENT CHANGES.
3. **PROTECTION OF THE ENVIRONMENT:** NO CONSTRUCTION RELATED ACTIVITY SHALL CONTRIBUTE TO THE DEGRADATION OF THE ENVIRONMENT, ALLOW MATERIAL TO ENTER SURFACE OR GROUND WATERS, OR ALLOW PARTICULATE EMISSIONS TO THE ATMOSPHERE, WHICH EXCEED STATE OR FEDERAL STANDARDS. ANY ACTIONS THAT POTENTIALLY ALLOW DISCHARGE TO STATE WATERS MUST HAVE PRIOR APPROVAL OF THE WASHINGTON STATE DEPARTMENT OF ECOLOGY.

SURVEYOR'S NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. EXISTING UTILITIES MUST BE LOCATED AND PROTECTED BEFORE AND DURING CONSTRUCTION.
2. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES BASED UPON THE U.S. SURVEY FOOT.
3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE LOCATIONS ONLY BASED ON THE FIELD LOCATION OF UTILITY LOCATE PAINT MARKS AND PHYSICAL FEATURES VISIBLE ON OR ABOVE THE GROUND SURFACE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS/HER FAILURE TO EXACTLY LOCATE AND PROTECT ALL EXISTING UTILITY FACILITIES.
4. UTILITY LOCATES FOR THIS PROJECT WERE PERFORMED BY APS.

DATUM

HORIZONTAL DATUM: WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE (4601), NAD83(91), US SURVEY FOOT.

VERTICAL DATUM: NAVD88

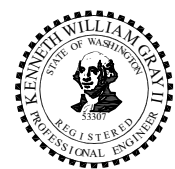
FIELD WORK FOR THIS SURVEY WAS PERFORMED IN MAY AND JUNE OF 2018 MONUMENTS AND CONTROL POINTS SHOWN HEREIN WERE VISITED AND/OR SET IN JUNE OF 2018.

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**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
KEY MAP AND
SURVEY NOTES**

Drawing: **G-4**
Sheet: **4** of **XX**
File: P18-10515_G-4
Date: December 2018



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Checked: C. Kelsey
Approved: R. Dorn

Scale:

1" = 50'

One Inch at Full Scale
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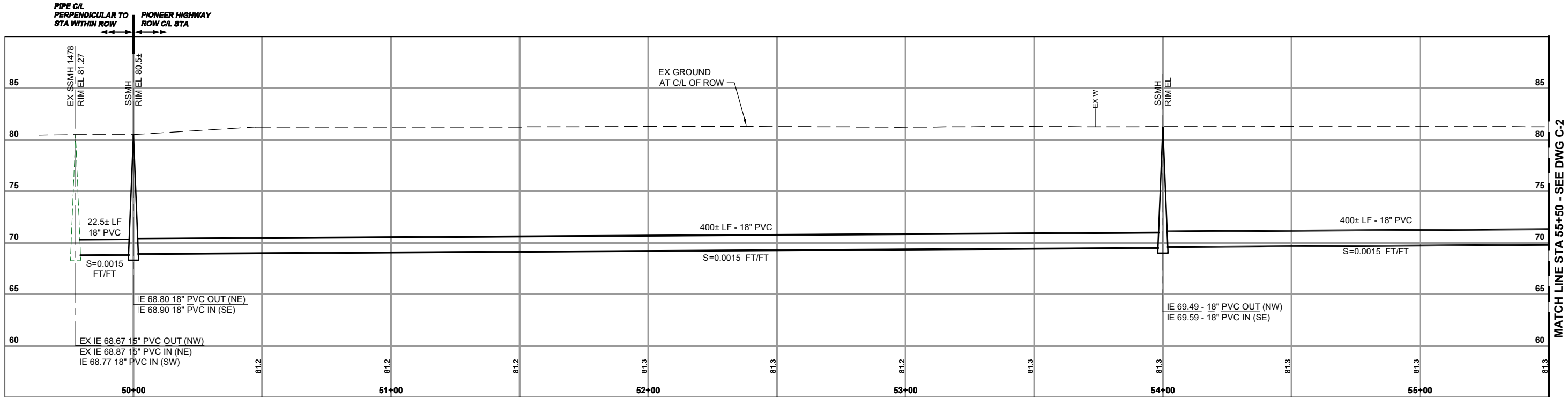
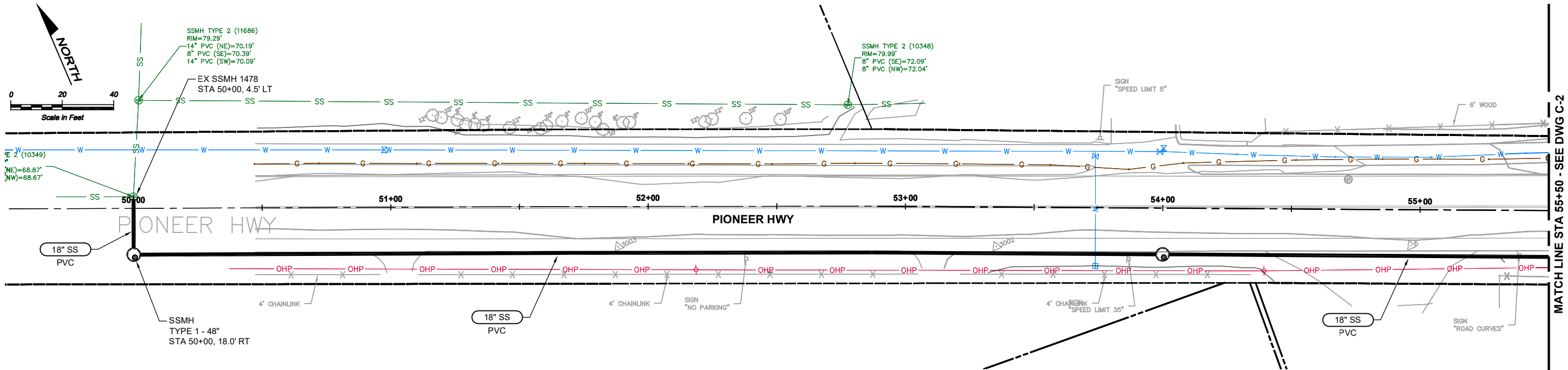
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Drawing:	EC-1
Sheet:	X of XX
File:	P18-10515_EC-1
Date:	December 2018



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NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION AND AMENDMENTS OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. THE APWA AMENDMENT TO DIVISION ONE, STANDARD PLANS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, ALL WRITTEN AND PROMULGATED BY THE WASHINGTON STATE CHAPTER OF THE APWA AND WSDOT EXCEPT WHERE THE CONTRACT DOCUMENTS AND STANWOOD STREET AND UTILITY STANDARDS PROVIDE OTHERWISE.

2. SEE CITY STANDARD DETAIL DWG NO. S-1 FOR MANHOLE INSTALLATION REQUIREMENTS, TYP.

3. SEE CITY STANDARD DETAIL DWG NO. T-8 FOR TRENCH RESTORATION REQUIREMENTS, TYP, UNLESS NOTED OTHERWISE.
4. PIPE ZONE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH WSDOT STANDARD PLAN B.55.20-00 PER CITY STANDARDS, TYP.

5. PROVIDE MANHOLE COLLARS IN ACCORDANCE WITH CITY STANDARD DETAIL S-3, TYP.

6. PIONEER HIGHWAY RESTORATION WHERE CONCRETE PANELING IS ENCOUNTERED SHALL BE PER DETAIL X/X-X.

7. RESTORE ALL PAVEMENT MARKINGS - STRIPING, ARROWS, CROSSWALK, MARKERS, ETC. - PER WSDOT AND CITY STANDARD DETAIL DWGS NO. T-9 AND NO. T-10 AS REQUIRED, TYP.

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Approved: R. Dom

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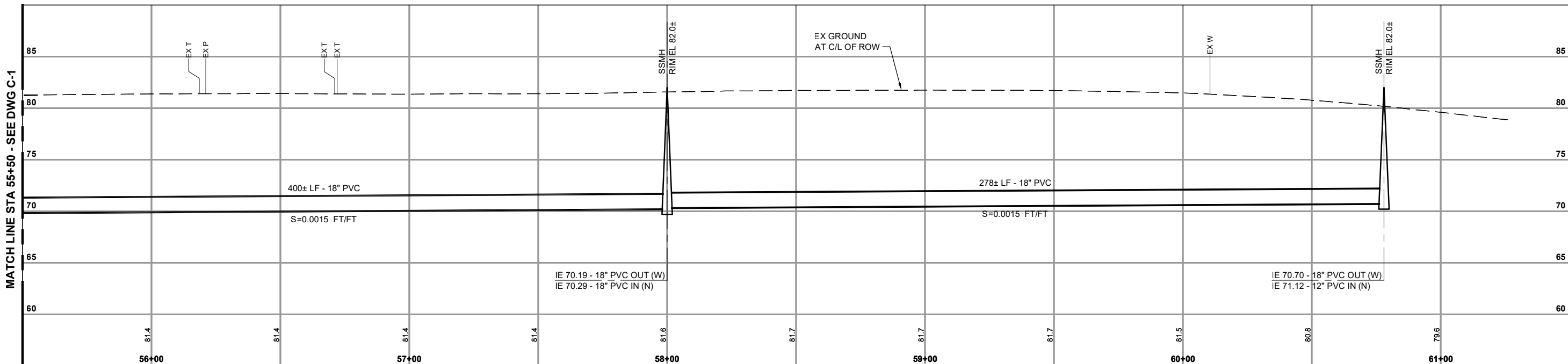
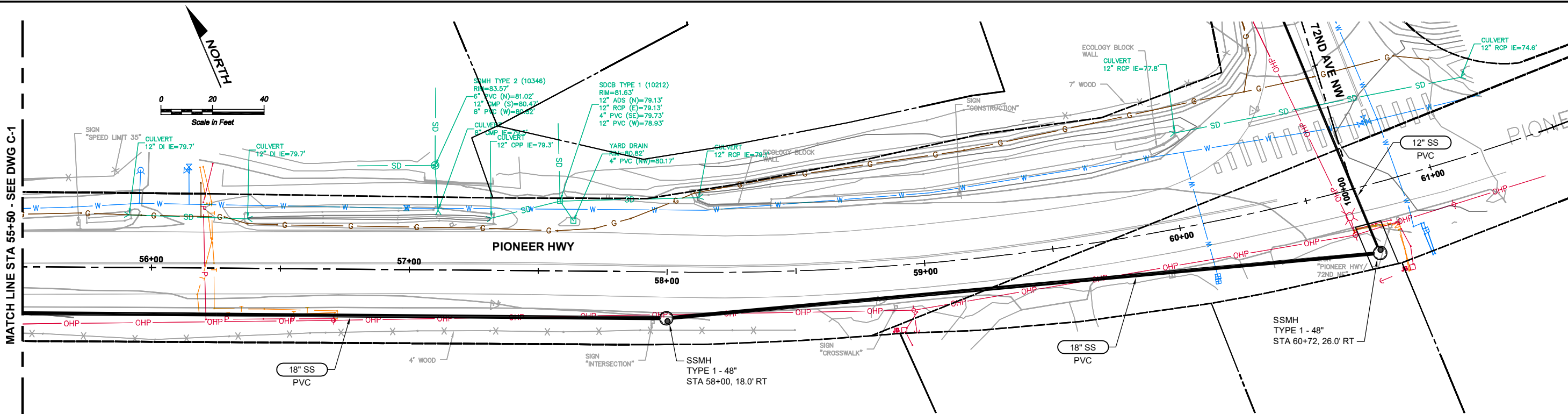


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**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
PLAN AND PROFILE
STA 50+00 TO STA 55+50**

Drawing: **C-1**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
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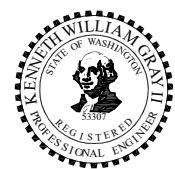
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- PIPE ZONE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH WSDOT STANDARD PLAN B.55.20-00 PER CITY STANDARDS, TYP.
- PROVIDE MANHOLE COLLARS IN ACCORDANCE WITH CITY STANDARD DETAIL S-3, TYP.
- PIONEER HIGHWAY RESTORATION WHERE CONCRETE PANELING IS ENCOUNTERED SHALL BE PER DETAIL X/X-X.
- RESTORE ALL PAVEMENT MARKINGS - STRIPING, ARROWS, CROSSWALK, MARKERS, ETC. - PER WSDOT AND CITY STANDARD DETAIL DWGS NO. T-9 AND NO. T-10 AS REQUIRED, TYP.

Call 48 Hours
Before You Dig

1-800-424-5555
UNDERGROUND SERVICE

**Preliminary
50% Review Set**

Not For Construction
12-2018



No.	Revision	Date	By	App'd



BHC Consultants, LLC
1601 Fifth Avenue, Suite 500
Seattle, Washington 98101
206.505.3400
206.505.3406 (fax)
www.bhcconsultants.com

Designed: K. Gray
Drawn: A. Carioso
Checked: C. Kelsey
Approved: R. Dorn

Scale:

1" = 20'-0"

One Inch at Full Scale
If Not One Inch
Scale Accordingly



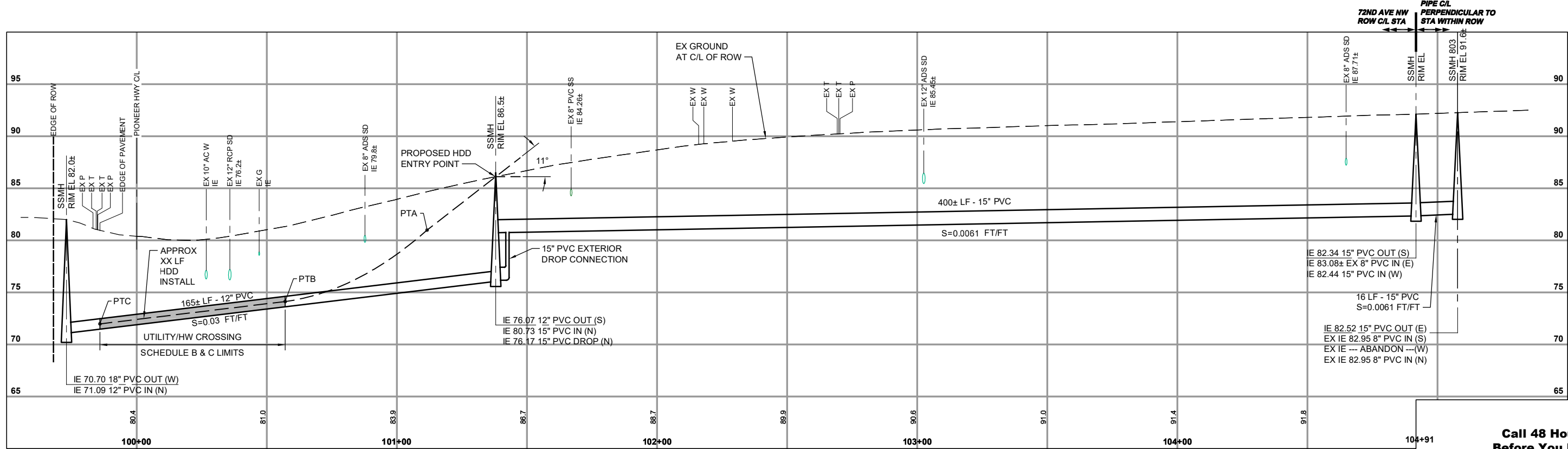
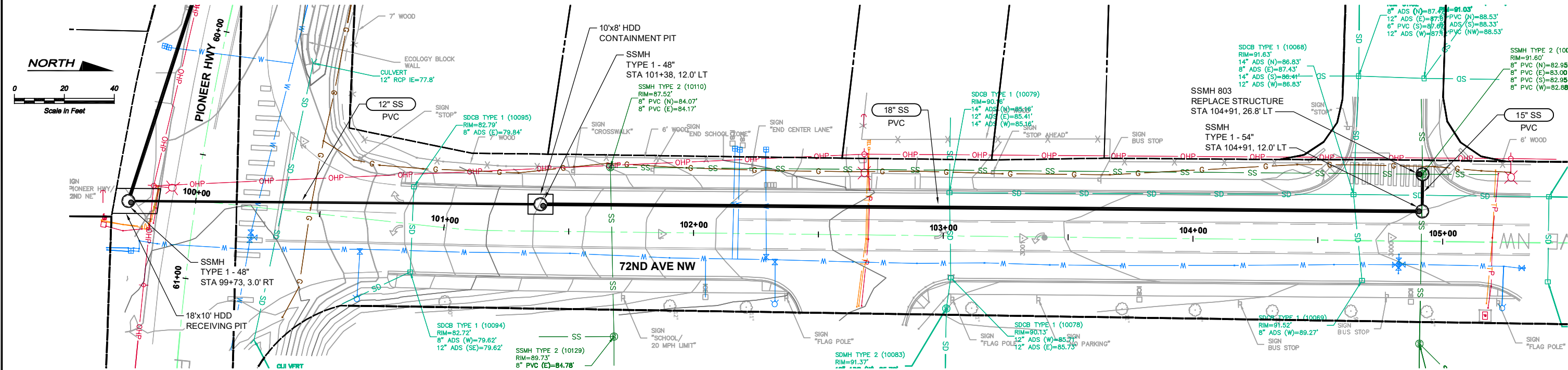
**City of Stanwood
Public Works**

10220 270th Street NW
Stanwood, Washington 98292
Phone: (360) 629-9781 Fax: (360) 629-3009
www.ci.stanwood.wa.us

**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
PLAN AND PROFILE
STA 55+50 TO STA 61+00**

Drawing: **C-2**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
Date: December 2018

Path: S:\Cad\Stanwood\Pioneer Highway\18-10515 Design\dwg File: P18-10515_C-1-3 Plot date: Dec 13, 2018 01:52:03pm CAD User: psimon.
Xref File: P18-10515_TB | X18-10515_Ext Topo2 | X18-10515_Prop Sewer | X18-10515_Prelim | Gray |



NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION AND AMENDMENTS OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. THE APWA AMENDMENT TO DIVISION ONE, STANDARD PLANS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, ALL WRITTEN AND PROMULGATED BY THE WASHINGTON STATE CHAPTER OF THE APWA AND WSDOT EXCEPT WHERE THE CONTRACT DOCUMENTS AND STANWOOD STREET AND UTILITY STANDARDS PROVIDE OTHERWISE.
- SEE CITY STANDARD DETAIL DWG NO. S-1 FOR MANHOLE INSTALLATION REQUIREMENTS, TYP.
- SEE CITY STANDARD DETAIL DWG NO. T-8 FOR TRENCH RESTORATION REQUIREMENTS, TYP, UNLESS NOTED OTHERWISE.
- PIPE ZONE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH WSDOT STANDARD PLAN B.55.20-00 PER CITY STANDARDS, TYP.
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DIRECTIONAL DRILL DATA

DESCRIPTION	LOCATION	EL (FT)
ENTRY	101+XX.XX	8X.X
PT A	101+XX.XX	7X.X
PT B	100+XX.XX	7X.X
PT C	60+XX.XX	7X.X

HDD RECOMMENDED TOLERANCES

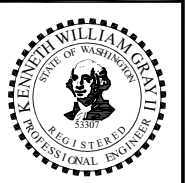
SLOPE	±0.015 FT/FT
HORIZONTAL	± 2 FT
VERTICAL	± 1 FT, -0 FT
ENTRY ANGLE	+1°, -0°

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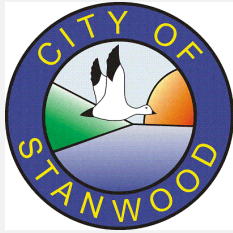
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**PIONEER HIGHWAY UPGRADES
PHASE 1 - 72ND AVENUE INTERCEPTOR
PLAN AND PROFILE
STA 99+73 TO STA 104+91**

Drawing: **C-3**
Sheet: **X** of **XX**
File: P18-10515_C-1-3
Date: December 2018



MEMORANDUM

COMMUNITY DEVELOPMENT DEPARTMENT

10220 270th St NW
Stanwood, WA 98292
360-629-4577

TO: PLANNING COMMISSION
FROM: Patricia Love, Community Development Director
SUBJECT: Wayfinding Program Discussion
DATE: March 25, 2019

DISCUSSION TOPIC

In the summer of 2018, the City began discussing the topic of a *“Wayfinding Program and Signage”*. Updating the “Wayfinding” program is on the 2019 / 2020 work plan with the intended purpose of supporting our local businesses and promoting economic development activities in the city. To better understand the City’s past position on the issue of “wayfinding” staff researched city records and found many references to wayfinding plans and concepts but could not find any officially approved plan(s).

HISTORY RESEARCH

The 2003 Design Stanwood report envisions the City adopting a gateway and signage plan to promote Stanwood. That plan recommended creating a “gateway and signage program that uses common materials, symbols and colors to designate entrances to the City, entry into distinct districts and neighborhoods and major public places”.

The City of Stanwood Economic Development Action Plan adopted in July of 2010 continued the gateway theme by identifying community based gateway corridors. The purpose was to identify unique features of each district and to promote businesses and redevelopment. These included:

- Uptown Center Boundary:
 - 271st Street Corridor
 - SR 532 Corridor
 - Transit Corridor
- Uptown Center Boundary
 - Uptown Center Gateway Corridor

In July of 2011 the City hired a consultant to prepare a wayfinding sign design. The original scope of work included sign and banner designs; banners were intended to be hung from the light poles on SR 532. Efforts also included a robust public involvement process. The City Council approved the final designs in September of 2011.

By 2012 the Stanwood / Camano SDAT: Destiny by Design report included the wayfinding sign concepts and the SR 532 Landscape Beautification Project was initiated.

The SR 532 Landscape Beautification Project was funded through a Federal Aid Project grant to the Public Works Department for completion of the landscape areas along a portion of SR 532 (104th St to 98th St) and a portion of one wayfinding sign. The project was put out to bid in 2012. Project bids all exceeded the budget and since the project could not be implemented as originally planned, the City Council directed that the project focus on wayfinding signage. The final wayfinding project included:

- 10 District signs within the SR 532 right of way
- 3 District signs at locations requested by the Stanwood Area Merchants Association (SAMA):
 - Pioneer Highway and 72nd Street
 - Pioneer Highway and Cedar home Drive
 - 102nd Street at city limits (Old Pacific Highway)
- One entry sign at the west entrance to the City from Camano Island

In June of 2013, the Community Development Director was working on an amendment to the Sign Code which would formally adopt the “Wayfinding Signage System”. This was to be a new code section of the Stanwood Municipal Code (SMC 17.110.095). From the records research it appears that the draft code was never formally adopted. Why the code was not adopted may be lost to history, resulting from presumably staffing changes, priorities, or changes in work load. However, the last formal action found on the topic (City Council minutes of June 27, 2013) directed staff to amend the wayfinding sign program to:

- Not include business names on the signs (a recommendation from the Stanwood Area Merchants Association)
- Include three additional sign locations
- Use a single color scheme throughout the city

PURPOSE OF MEETING TOPIC

The purpose of this agenda topic is: 1) to review the “Wayfinding Program” and fill in any history gaps regarding the project that was not identified in the paperwork research, 2) to review the existing sign inventory, and 3) review the 2013 maps which identified corridors for future sign locations.

This is a general discussion topic and no formal action will be taken.

RECOMMENDATIONS

Gateways and Signing

Dave Christensen, AIA Architect and Master Planner
Dave Markley, PE Transportation Planner and Engineer

Gateways

The automobile will remain the primary mode for people traveling to Stanwood. Yet, for a visitor (and even some newer residents) who is unfamiliar with the City, there is little in the way of visual clues to tell them they have arrived. Existing visual indicators are often easily misinterpreted, misleading, incorrect, diluted by other signs or visual distractions, or non-existent. Since entry to Stanwood is also unclear from the land development pattern, it will be critical to establish consistent series of indicators to let visitors know when they enter the city and how to access the downtown.

To that end, the City should develop a coordinated gateway and signing program that uses common materials, symbols and colors to designate entrances to the City, entry into distinct districts and neighborhoods, and major public places. Significant entry locations and intersections should be accentuated with some landscape feature to announce arrival at a place or acknowledge a transition into another part of town.



RECOMMENDATIONS

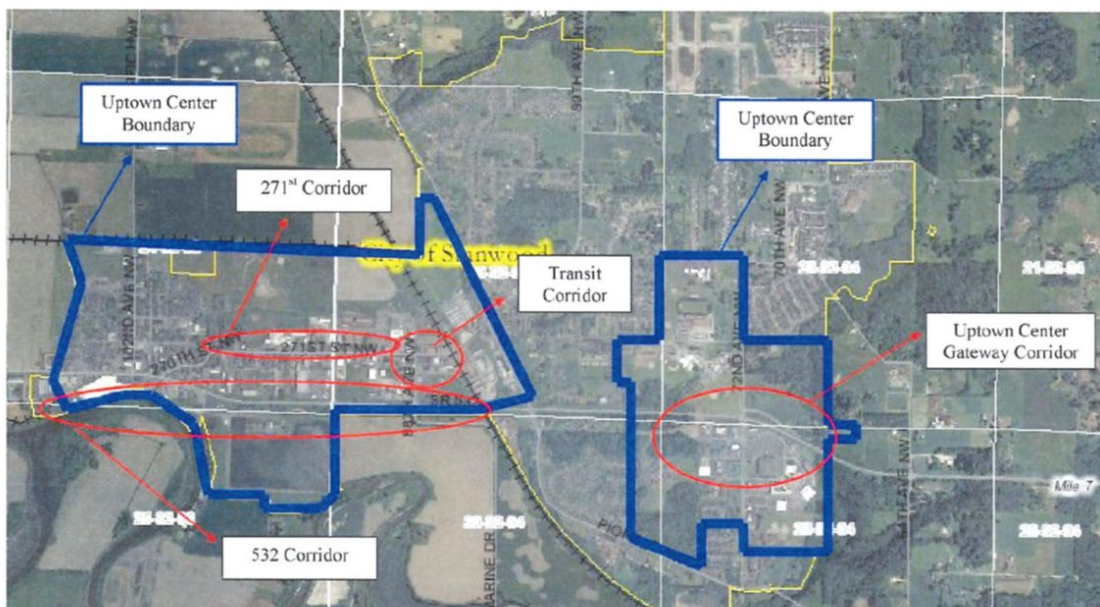
Street Signs

Several community members expressed a desire to revive the original street names to reinforce the historical heritage of the downtown area. This desire must be balanced with the need for the functional mailing/delivery address and emergency response location requirements. One approach for accommodating both objectives is to modify the street signing system with dual labels – one being the historically “named” street and a second being the current “numbered” street designation. A variety of signing options (both labels combined on one sign or a combination of individual signs) should be considered. Likewise, the community may choose to select a sign color combination that is different than the traditional white lettering on green background.



Other visual elements that can serve as visual keys to identify the downtown or sub-areas within the downtown include lighting standards (which also enhance pedestrian safety), flower baskets, flower pots, landscaping, and street furniture.

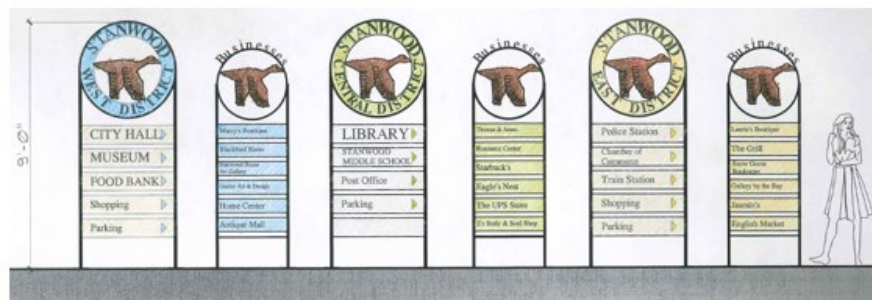
City of Stanwood Economic Development Plan - 2010



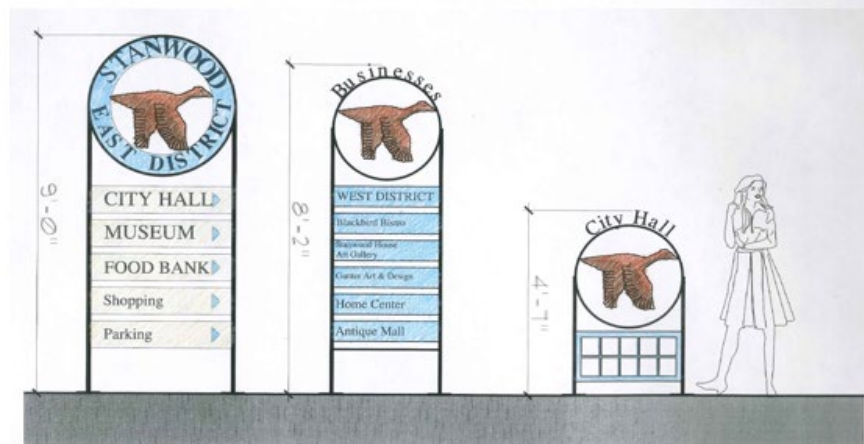
Stanwood / Camano SDAT: Destiny by Design – 2012



ENTRY, DISTRICT & BUSINESS SIGNS

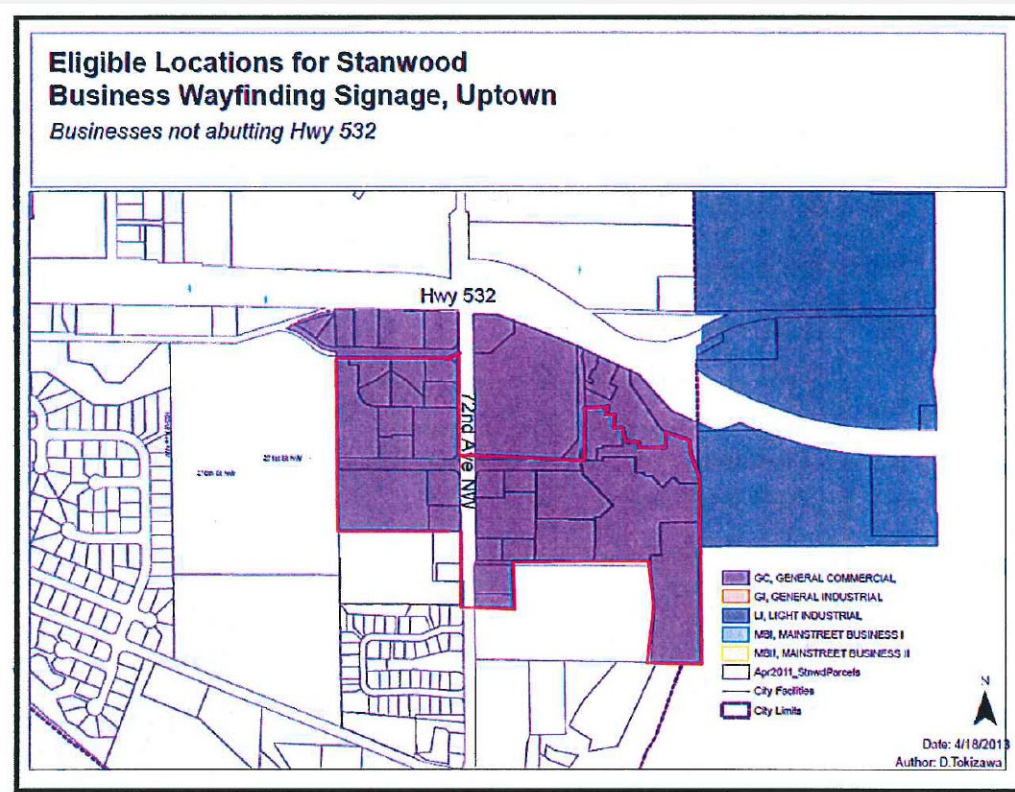
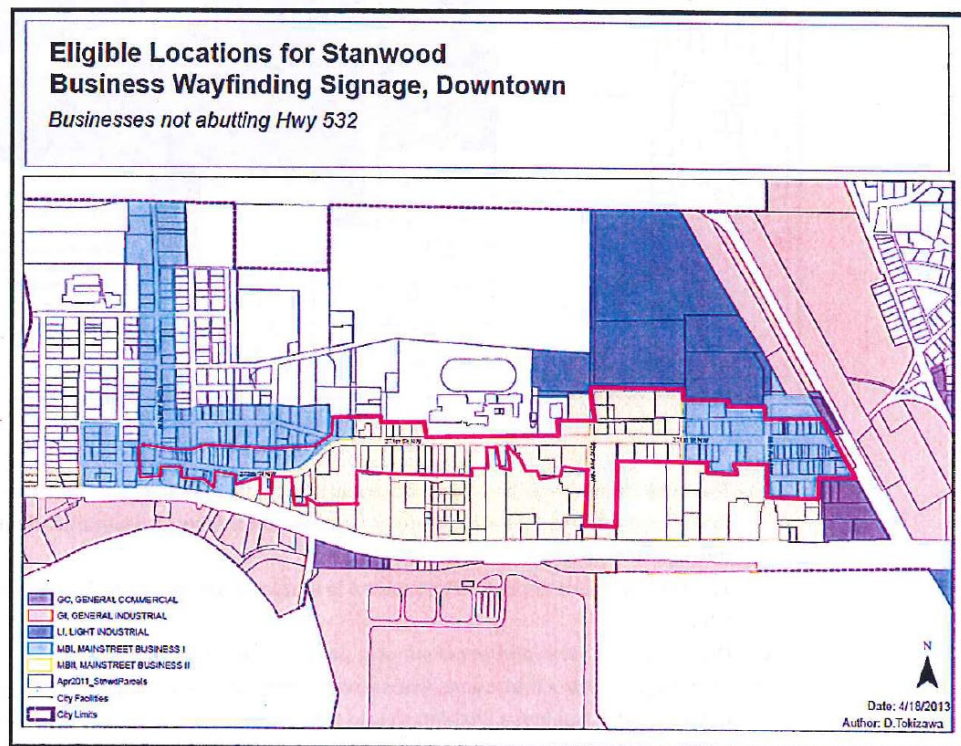


DISTRICT & BUSINESS SIGNS

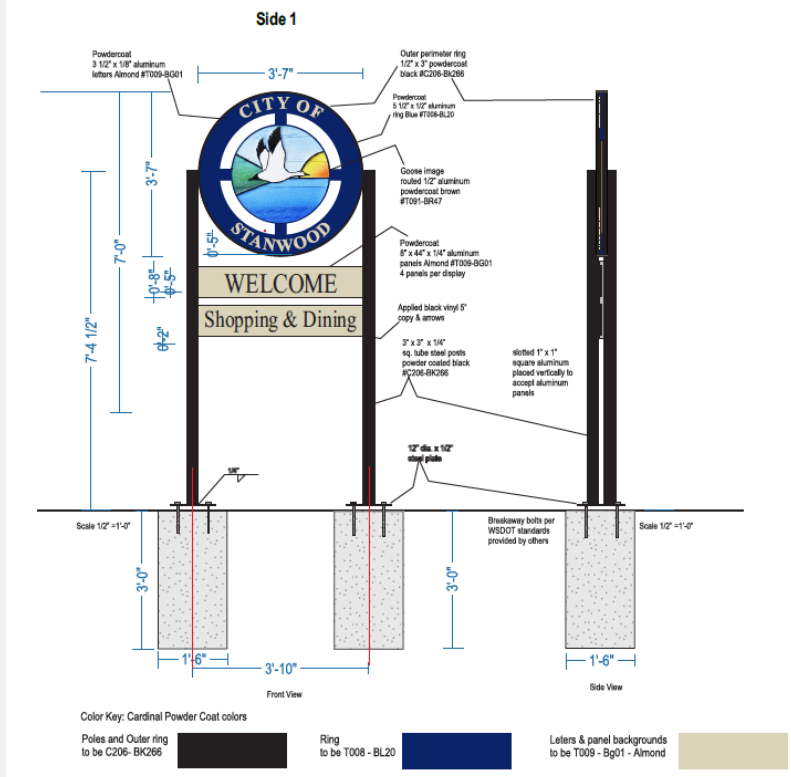
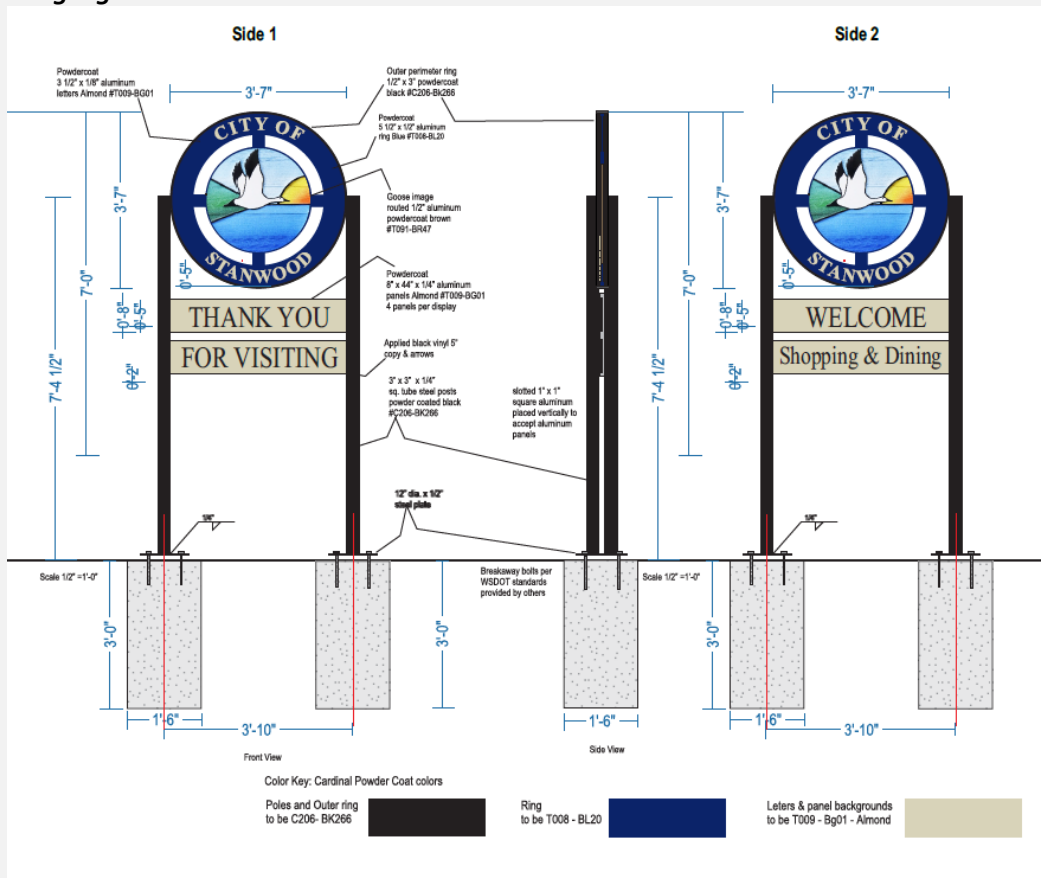


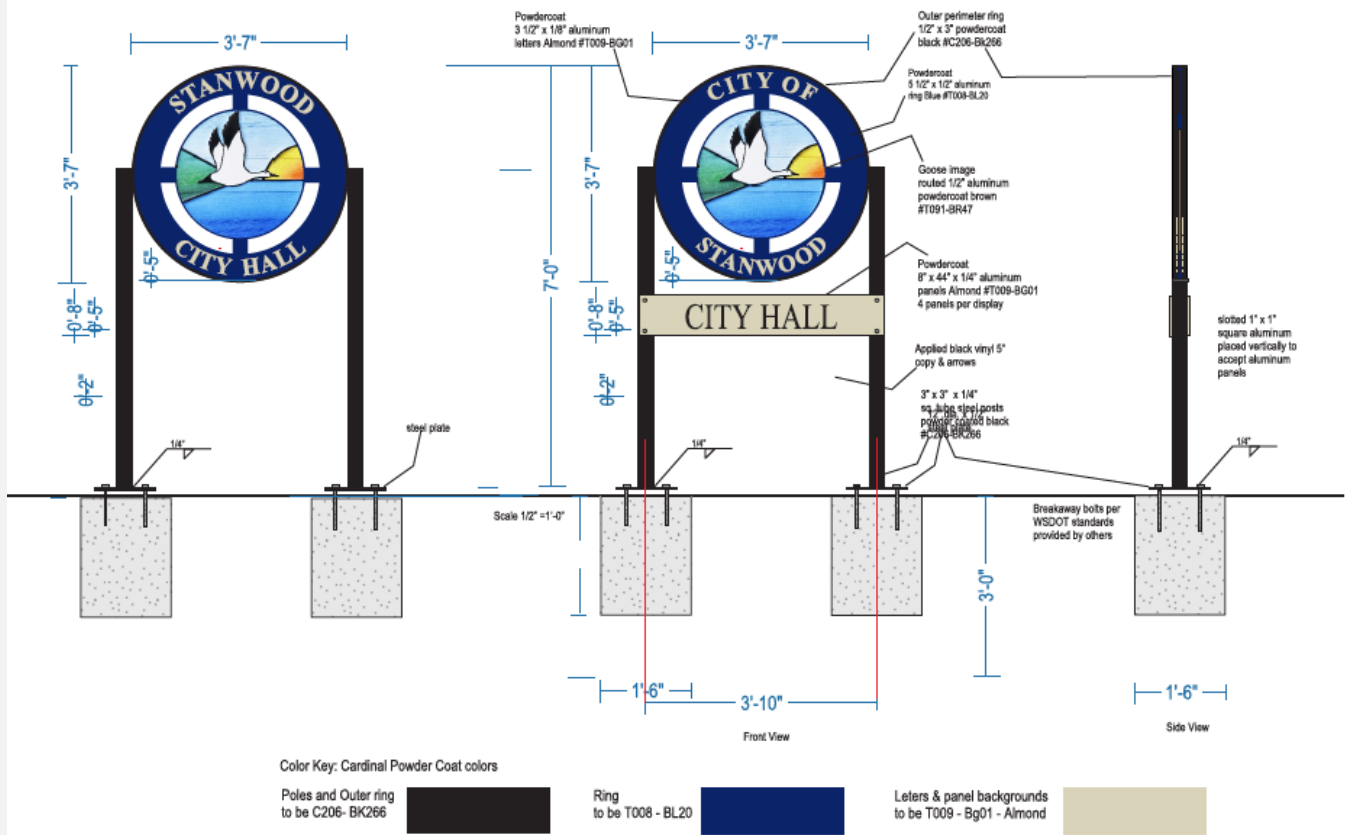
It appears that the “rusty goose” design was changed to the “snow goose” design in 2014 due to construction and maintenance cost concerns.

2013 Draft Sign Code - Business Wayfinding Signage Corridors:

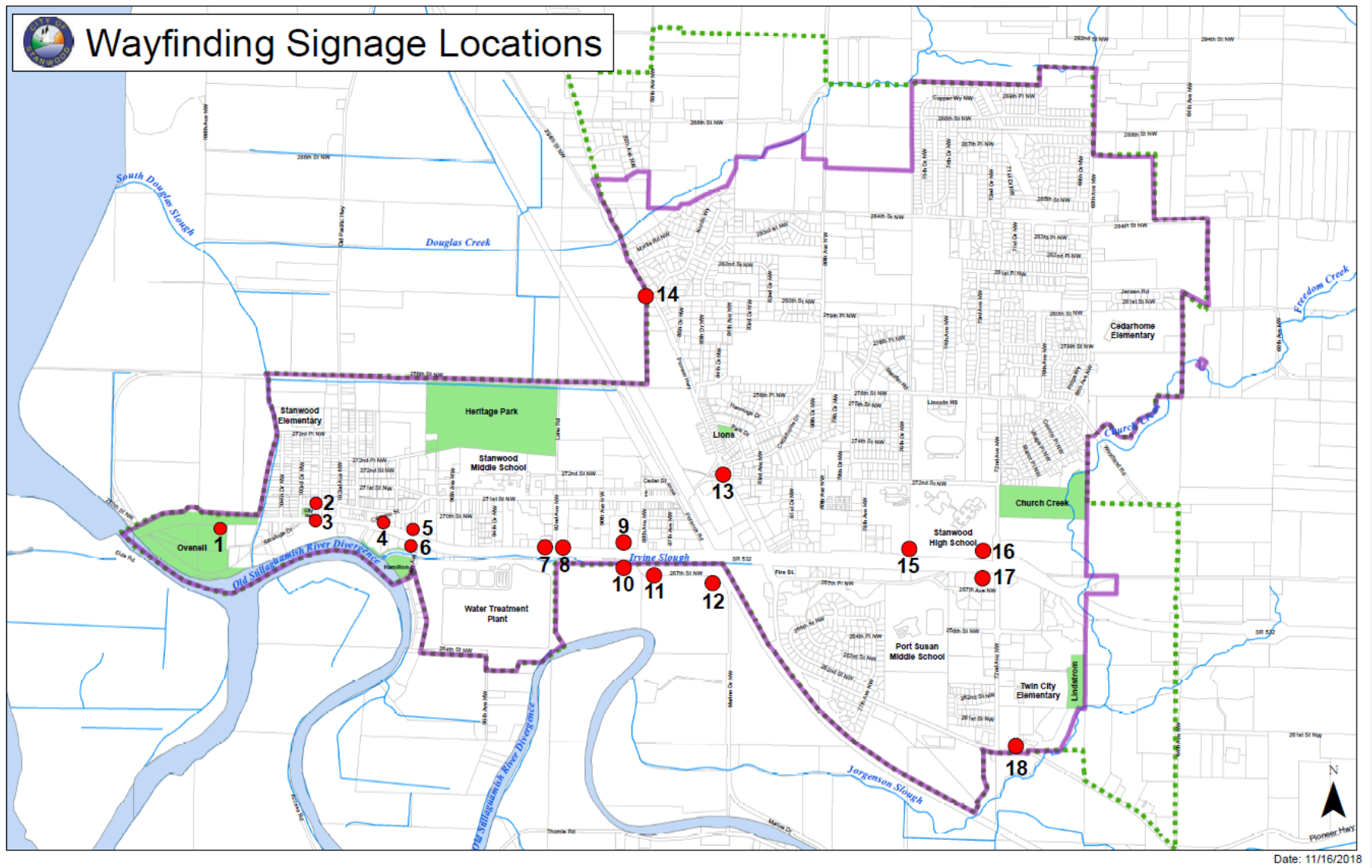


2014 Wayfinding Signs





2018 Sign Inventory





1) Welcome Sign
SR 532 (South Side)



2) Marker Sign
In front of City Hall



3) West District
SR 532 and 102nd PL NW
By City Hall

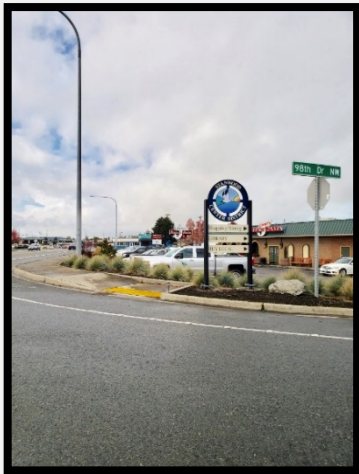


4) West District

Camano Street

By Wells Fargo Bank

- Shopping Dining
- PARKING
- BUY LOCAL



5) West District

SR 532 and 98th

By Jimmy's Pizza

- Shopping Dining
- Library
- BUY LOCAL



6) Center District

SR 532 and 98th

By Coastal Bank



7) Center District

SR 532 and 92nd by QFC

- Shopping Dining
- Stanwood Middle School
- POST OFFICE



8) Center District

SR 532 and 92nd by QFC

East side of 92nd/SR532



9) East District

SR 532 and 88th North side



10) East District
SR 532 and 88th South side



11) Welcome
Original Sign- Marine View DR
under SR 532



12) Welcome
Original Sign- Marine View DR
under SR 532



13) East District
Pioneer Hwy and 272nd
East side



14) Welcome
Pioneer Hwy and Nordic Way
West side of Pioneer



15) Welcome
SR 532 by High School
(North side of SR 532)



16) Hilltop District
SR 532 and 72nd Ave NW
Across from High School
(North side of 72nd)



17) Hilltop District
SR 532 and 72nd Ave NW
By Farmer's Café
(Former Burger King)



18) Hilltop District
Pioneer Hwy
Uptown by Creekside Apartments
(North side of Pioneer Hwy)

